



CITY OF CLEVELAND

Mayor Justin M. Bibb

Cleveland City Planning Commission

August 15, 2025

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Calley Mersmann, Director

Evelyn Rueda, Administrator

AGENDA

SPECIAL PRESENTATIONS – PUBLIC ART

- Public Art Program – "The Art of Noticing"
@ Clark Recreation Center
- NE2025-019 – Rafael Valdiviseo Mural
- Sunflower Mural

CENTRAL SOUTHEAST DESIGN REVIEW

- CSE2025-031 – 3482 E 70th St Demo

NORTHEAST DESIGN REVIEW

- NE2025-009 – Shorewood Monument
Signs (2)

FAR WEST DESIGN REVIEW

- FW2024-03 – 14734 Lorain Avenue Demo
- FW2025-09 – Rocky River Drive Plaza

EUCLID CORRIDOR BUCKEYE DESIGN

REVIEW

- EC2024-025 – Circle Square, East
Stokes Block, north portion

DOWNTOWN/FLATS DESIGN REVIEW

- DF2025-028 – Ten60 Bolivar Signage

LEGISLATION

SPECIAL PRESENTATIONS – (FOR INFORMATION ONLY)

- Downtown Surface Parking Lots



Cleveland City Planning Commission

P R E A M B L E

In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the Codified Ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

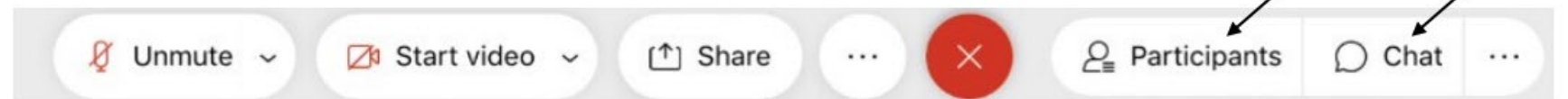
All boards and commissions under the purview of the City Planning department conduct their meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the Chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.



CALL-IN USERS CAN UNMUTE BY USING *6



August 15, 2025

Cleveland City Planning Commission

P R E A M B L E

All meeting activity is being recorded via the Webex platform.

These proceedings are also being live streamed via YouTube.

All requests to speak on a particular matter submitted through proper channels have been considered. We have also received emails from those who have provided written comment on a particular matter. Proper channels for comments are listed below.

Communication with members of this body must follow proper channels for consideration.

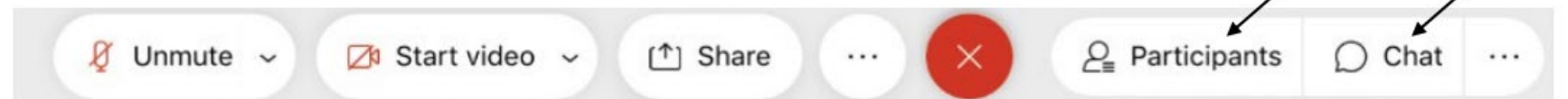
Any comments received by the **Wednesday 12:00 pm** deadline are collected by City Planning staff and disseminated to the Commission members prior to any scheduled meeting.

PROPER CHANNELS FOR PUBLIC COMMENT

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



CALL-IN USERS CAN UNMUTE BY USING *6



August 15, 2025

Cleveland City Planning Commission

MEETING RULES AND PROCEDURES

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Advisory Committee recommendations (if applicable) and any public comments received.
- Public comments received through the proper channels by the deadline are distributed to Commission members prior to the meeting. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

Lillian Kuri, Chair

August 15, 2025

August Fluker, Vice Chair

Charles Slife, Council Member

Dr. Denise McCray-Scott

Erika Anthony

Andrew Sargeant

Cleveland City Planning Commission

Call to Order and Roll Call



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

Cleveland City Planning Commission

Special Presentations – Public Art



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

Public Art Program – "The Art of Noticing" @ Clark Rec Center

August 15, 2025

Project Address: 5706 Clark Ave

Type: Public Art

Project Representatives: Tarra Petras & Shelly Svonavec, Artist

Approval: Final

Ward 15: Council Member Spencer |

SPA: Stockyards |

CDC: Metro West



CITY OF CLEVELAND

Mayor Justin M. Bibb

Public Art Program

City Planning Commission Meeting - August 15, 2025

Approval of Artwork at Clark Recreation Center
5706 Clark Avenue

CITY of **CLEVELAND**

MAYOR JUSTIN M. BIBB

CITY PLANNING



PROJECT DETAILS

Ward: 15

SPA Neighborhood: Stockyards

Project Scope: Full Renovation

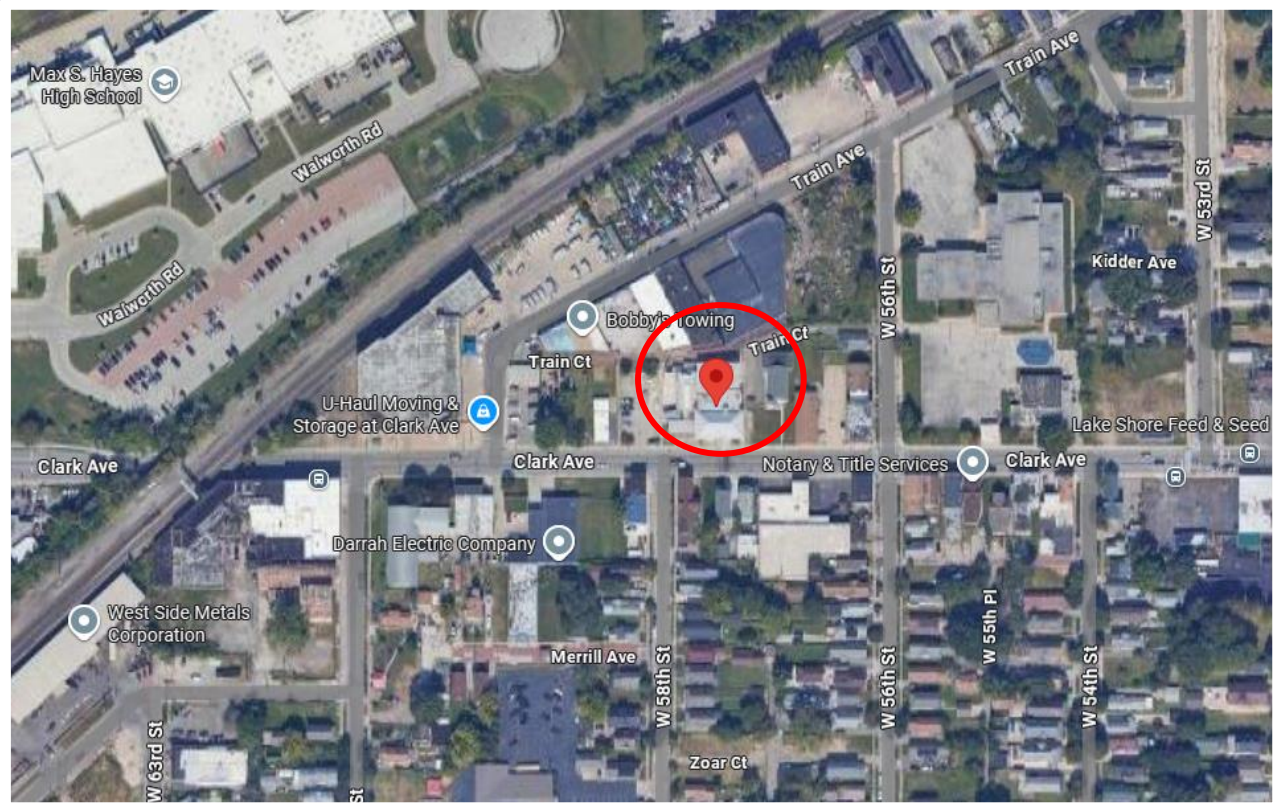
Public Art Budget: \$80,000

Svona Studio LLC was the selected artist out of 12 eligible submissions, and 3 interviewed finalists

Artwork approved by the Public Art Committee on 8/12/25



Contextual Views from West and South, and Aerial View



Under Renovation Photo



Renovation Renderings

Rendering 1 - Front View



Rendering 2 - Another Front View



Rendering 3 - Interior View



* Please note the parking lot shown to the west of the Recreation Center will be converted to a public park in the future.



CLARK REC CENTER PUBLIC ART INSTALLATION

THE ART OF NOTICING

5706 Clark Ave

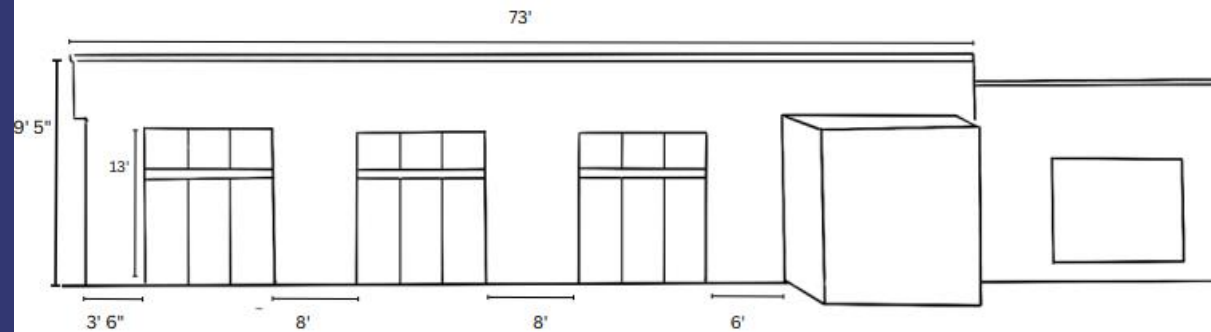


SVONA STUDIO

Shelly Svonavec

Clark Recreation Center

LOCATION



LOCATION

Clark Recreation Center



parking lot- future park



New Clark Elementary School
a few blocks down Clark Ave



Looking west down Clark Ave



across Clark Ave.



east of Rec Center

CONCEPT

THE ART OF NOTICING



"Quiet Mornings, the First One Awake"



"The Dim Glow of an Ambient Lit Room"



"The Feeling of Sun on Your Face, First Thing in the Morning"



"The Smell of Old Books"

"Little Moments"

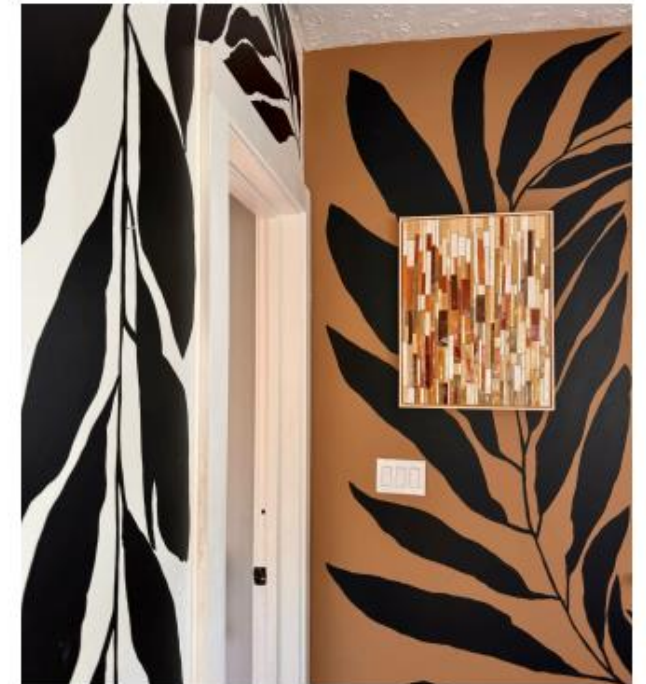
How do we find joy and beauty in the "little moments" throughout our day? Holding space and finding ways to cope through gratitude and observation. Integrating personal experiences, identities, and culture into a collaborative display.

OBJECTIVE

Generate community engagement, foster connection and promote optimism, through a dynamic, tactile medium that visually honors the grit and passion of Cleveland for generations to come.

DESIGN:

Combining a botanic element with fun, expressive mark making and color blocking. Juxtaposing components of mosaic within the composition.



COMMUNITY ENGAGEMENT

CERAMIC RESIDENCY: Lincoln West Global Studies High School

- Tiles created based on top core values

DESIGN WORKSHOP: 6/11 @ The Pivot Center

- "Little Moments" Paper mosaics

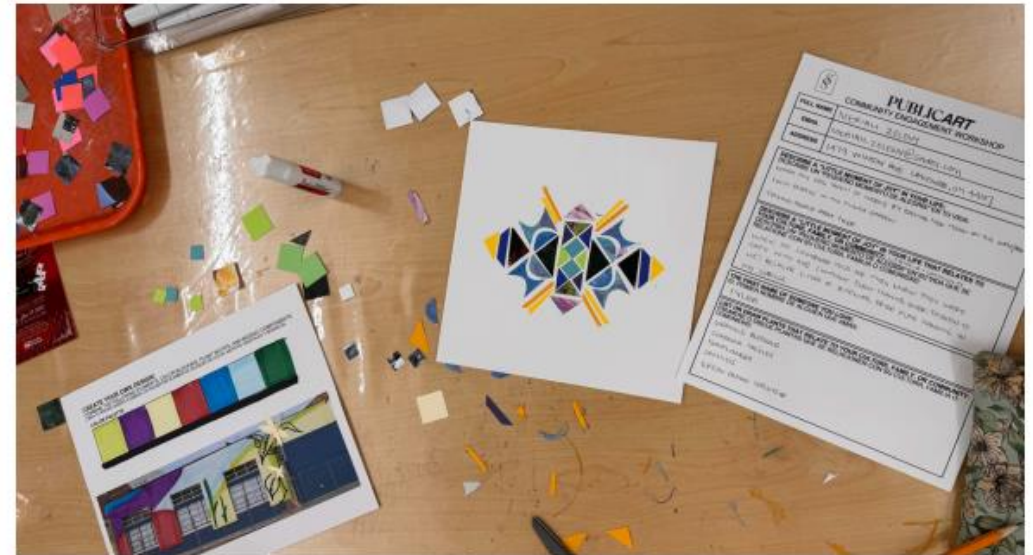
- Design ideas combining botanic elements, color blocking, and mosaic

- Contributing stories from personal life, related to family and culture, providing names of loved ones

CERAMIC WORKSHOP: 8/30 @ Svona Studio 12-3pm

- 30 minutes time slots to create a tile related to a "Little Moment" or a loved ones

- Free & open to the community to register



DESIGN



MATERIALS



PAINTED MURAL:

- Prepped and Primed by Cleveland Mural Co.
- Elastomeric Masonry, Stucco and Brick Exterior Paint

MOSAIC COMPONENTS:

- Stoneware w/ stable glazes
- Forms created and installed by **RW Clark** (site contractor), the base is Palight (cellular PVC), with Wediboard attached by adhesive and screws.
- Mosaic is applied to Wediboard using with Thin-Set Mortar and sanded Grout
- Mounted to the painted brick wall with Aluminum Z Clips from Monarch Metal, 1/4" gap between wall and form to allow for variance in brick



DESIGN

Mosaic Component Details

-Each mosaic component will be connected with a submitted "Little Moment", described by the color palette, texture, and composition. A legend will be included with the display to relay this information(QR code on display plaque).

- "Names of loved ones" submitted by the community will be stamped on random tiles.

-Community Event in early August will offer the opportunity for the community to make a ceramic tile at Svona Studio.



"Floating in the Water
Looking at the Sky"



"The Sunshine Through
Our Bedroom Window"



"Summer Campfires with
my Family"



"Teaching Youth in the
Neighborhood About Gardening"



"The Smokey Aroma of
Blowing out Candles
Before Bed"



"Pushing my Grandbabies
on the Swing Set"

LETTER OF SUPPORT



THREE NEIGHBORHOODS, ONE COMMUNITY
TRES VECINARIOS, UNA COMUNIDAD

August 4, 2025

Luis Rivas
Art and Culture Coordinator
3167 Fulton Rd #303
Cleveland, OH 44109

To Whom It May Concern,

On behalf of Metro West CDO, I am writing to express our full support for the proposed mural project at the Clark Recreation Center, led by Shelly Svonavec. As a community development corporation serving the Clark-Fulton neighborhood, we recognize and are committed to public art and the role it plays in community revitalization, identity, and engagement.

Shelly has reached out to us regarding this initiative, and we are confident in both her vision and her ability to deliver a high-quality, impactful mural that reflects the richness of our neighborhood and the spirit of the residents who will use the Clark Rec Center. Her commitment to community-based activities and representation aligns with our mission to foster a neighborhood that is vibrant, welcoming, and reflective of its people.

This project will not only enhance the visual landscape of the space, but it will also serve as a catalyst for neighborhood pride, storytelling, and placemaking through her proposed interactive activities. We believe the mural will become a lasting asset for residents, families, and youth who frequent the center and the surrounding area.

We are in full support of this project and look forward to the project's advancement. Please feel free to contact us if additional information or support is needed.

A handwritten signature in black ink that reads 'Luis Rivas'.

Luis Rivas
Art and Culture Coordinator
Lrivas@metrowestcdo.org
216-961-9073 ex219

Public Art Program

Thank You!



CITY OF CLEVELAND

Mayor Justin M. Bibb

August 15, 2025

Public Art Program – "The Art of Noticing" @ Clark Rec Center

August 15, 2025

Design Review Advisory Committee:

The Public Art Committee unanimously approved this project on 8/12/25.

City Planning Staff:

As the public art component generated by the Clark Recreation Center major capital project renovations, Staff recommends this project for approval as presented, as approved by the City's Public Art Committee. The artwork and color scheme integrate well with the building architecture, and use of this portion of the building site.

NE2025-019 – Rafael Valdiviseo Mural

August 15, 2025

Project Address: 7411 St. Clair Avenue

Type: Public Art – Mural

Project Representative: Nancy Boylan, L.A.N.D. studio

Approval: Final

Ward 10: Council Member Hairston |

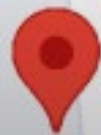
SPA: St. Clair-Superior |

CDC: Famicos Foundation

St. Clair Superior Final Approval Mural Design

7411 St. Clair Avenue

7411 St. Clair Avenue



Royal Pizza
Pizza

RAMIREZ CAR CARE

Economy Auto
Services & Sales

7501 St Clair Ave.

Cleveland, Ohio



Google Street View

Jul 2022 See more dates



7411 St. Clair Avenue

Share




Street View facing West




900 E 74th St

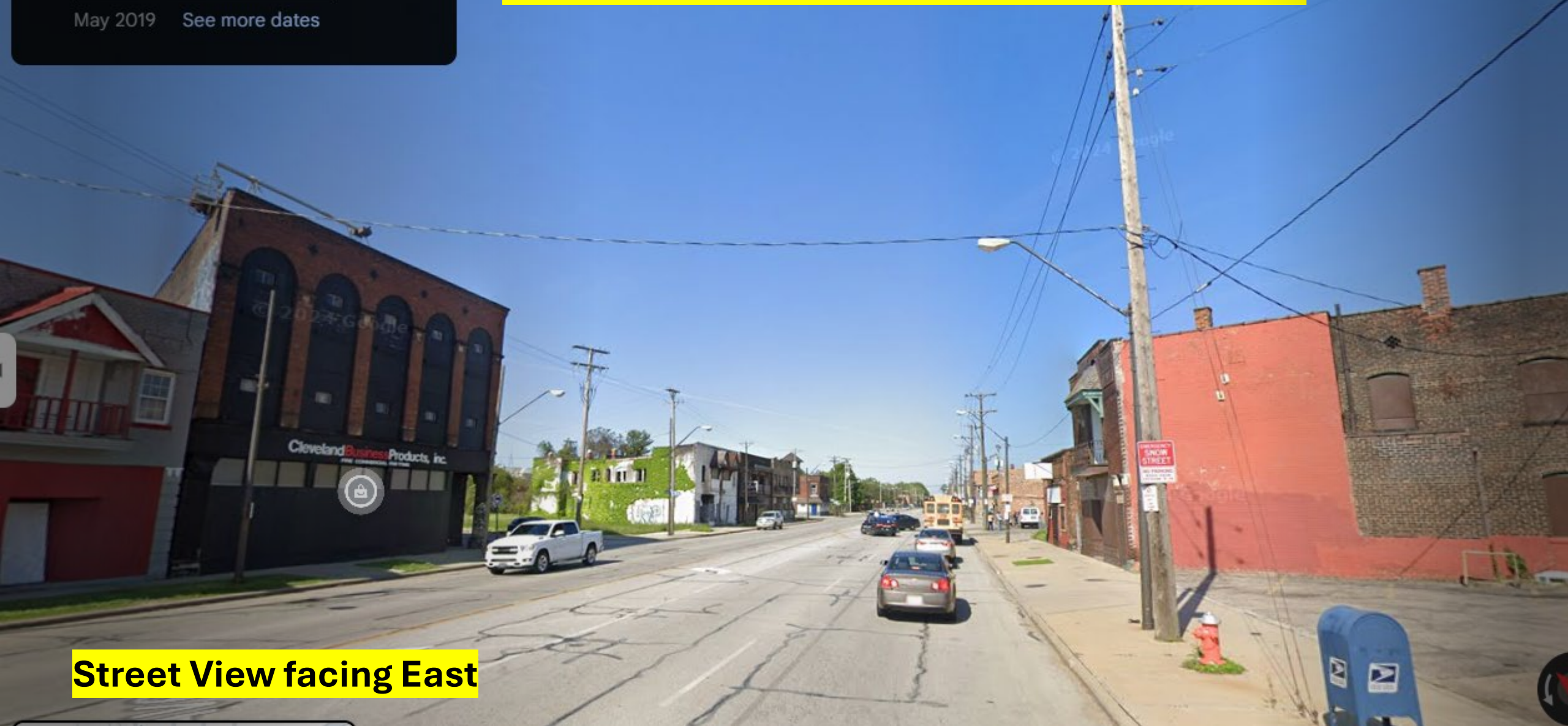
Cleveland, Ohio

 Google Street View

May 2019 See more dates

 Share

7411 St. Clair Avenue



Street View facing East



Street View

7411 St. Clair Avenue

Share

Close

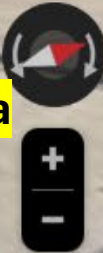
Design on column



Mural location



The mural will cover most of the eastern wall including the cement column at the corner. The artist will paint a design on the column that will coordinate with the rest of the mural.



7411 St. Clair Avenue Mural Design



Ward: 10

Application: Painted mural

Owner: Gary Browning

Artists: [Rafael Valdiviseo](#)

7411 St. Clair Avenue

Mural Design

Artist Bio: Born in Quito, Ecuador and a Cleveland Heights resident for the last 22 years, Rafael Valdivieso creates intricate compositions that contain hundreds of figures or faces layered into imaginary spaces that evoke a sense of teeming wildness and intertwine themes of human joy and struggle. His travels in Latin America, Europe and the Middle East inspired his work and sharpened his attention for lines, shapes, and colors.



Artist Statement: The goal of this mural is to celebrate diversity through the harmony of colors within a visual poetry of symbols and forms. By opening a window into the creative power of human expression, may it bring vibrancy, inspire creativity, and foster a dialogue of peace and unity.



- The mural has been shared at the SCSDC's community meeting in May, a community meeting on June 4th at St. Thomas Aquinas School, a meeting at the Slovenian National Home on June 24th and a community meeting at Kovacic Recreation Center on June 25th. The design has also been shared with Councilman Hairston to get his approval.
- St. Clair Superior Development Corp will be the steward of this mural.

THANK YOU

NE2025-019 – Rafael Valdiviseo Mural

August 15, 2025

Design Review Advisory Committee:

NEDRAC recommended final approval with conditions on 8/5/25:

- Consider finding a way to wrap the art around a little more or pull back the art from the edge so the building finishes (clearstory window and panel beneath it) wraps the corner.
- Suggest using a lighter color paint option on the column at the corner so the detail on the capital does not get lost.

City Planning Staff:

Staff recommends this project for approval as presented, with the positioning of the mural as currently shown, where the building substrate changes, and believes that to be within the limit of Committee purview.

Sunflower Mural

August 15, 2025

Project Address: 4919 Storer Ave

Type: Public Art – Mural

Project Representative: Luis Rivas, MWDC & Ariel Vergez, Lead Artist

Approval: Final

Ward 14: Council Member Santana |

SPA: Stockyards |

**CDC: Old Brooklyn &
Metro West**

Support from:



THE ART GARDEN

art trail beauty to uplift the
human spirit



Art Garden: Cultivating Sustainable Art for Cleveland

Public Art (Mural): 4919 Storer Ave Cleveland OH 44102

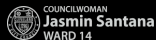
The Storer Avenue Mural Project is a community-driven public art initiative aimed at revitalizing and celebrating the beginning stages of major change on Storer Ave.

Through collaboration with local artists the mural will not only beautify the space but also act as a catalyst for ongoing engagement and creative expression.

Though we will be using BlackBrain Group and his team of apprentices from The Transformative Arts Fund, this specific project will NOT be funded by the Transformative Arts Fund.

This mural will be funded through a grant that was acquired by MetroWest CDO

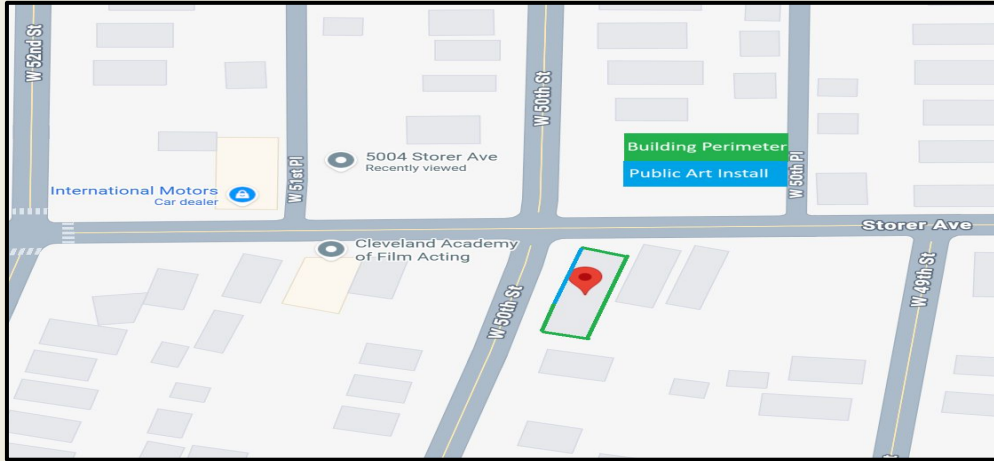
Support from:



Why the Mural Matters

The mural will be at the heart of The Art Garden Festival. A festival that celebrates the visual transformation of an entire neighborhood

MetroWest CDO, with funding from CDCLP, aims to host The Art Garden Festival. A celebration of public art and neighborhood identity, bringing together residents, artists, and local partners to highlight Storer Avenue and its potential. Unveiling the mural during the festival will celebrate the lasting investment in the cultural landscape of the area.



Location

Intersection of Storer Ave and W. 50th Street in the Stockyards Neighborhood

Address:

4919 Storer Ave Cleveland OH 44102



INDUSTRIAL

Address:

4919 Storer Ave Cleveland OH 44102



Address:

4919 Storer Ave Cleveland OH 44102



Address:

4919 Storer Ave Cleveland OH 44102

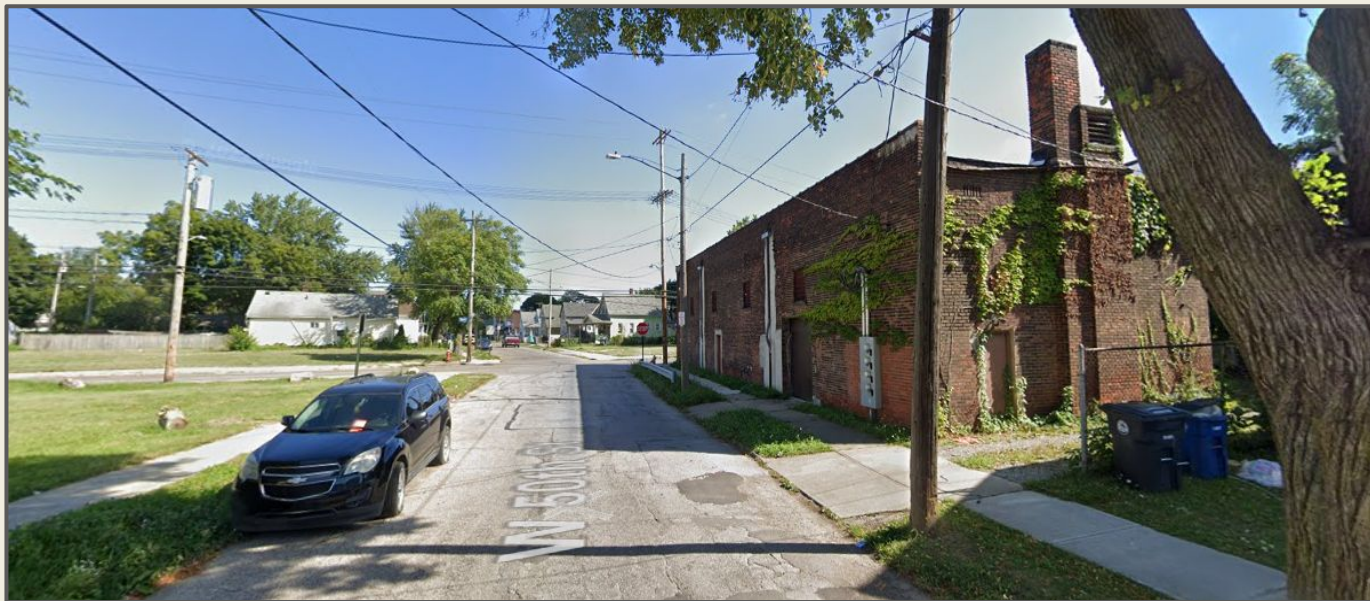
Storer Ave



CONTEXT

Address:

4919 Storer Ave Cleveland OH 44102



Address:

4919 Storer Ave Cleveland OH 44102

Storer Ave



Address:

4919 Storer Ave Cleveland OH 44102



INDUSTRIAL

Address:

4919 Storer Ave Cleveland OH 44102

Thank You!

Sunflower Mural

August 15, 2025

Design Review Advisory Committee:

N/A: Project not in a Design Review District

City Planning Staff:

Staff recommends this project for approval as presented, with consideration of addressing any necessary tuck pointing as needed.

Cleveland City Planning Commission

Central Southeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

Central Southeast Design Review

CSE2025-031 – 3482 E 70th St Demolition

August 15, 2025

Project Address: 3482 E 70th St

Type: Demolition

Project Representative: Caylen Payne, Cuyahoga Land Bank

Approval: Final

Ward 6: Council Member Griffin | **SPA: Broadway-Slavic Village** | **CDC: Slavic Village Dev.**

Proposed Demolition of

3482 East 70th St.

125-33-072

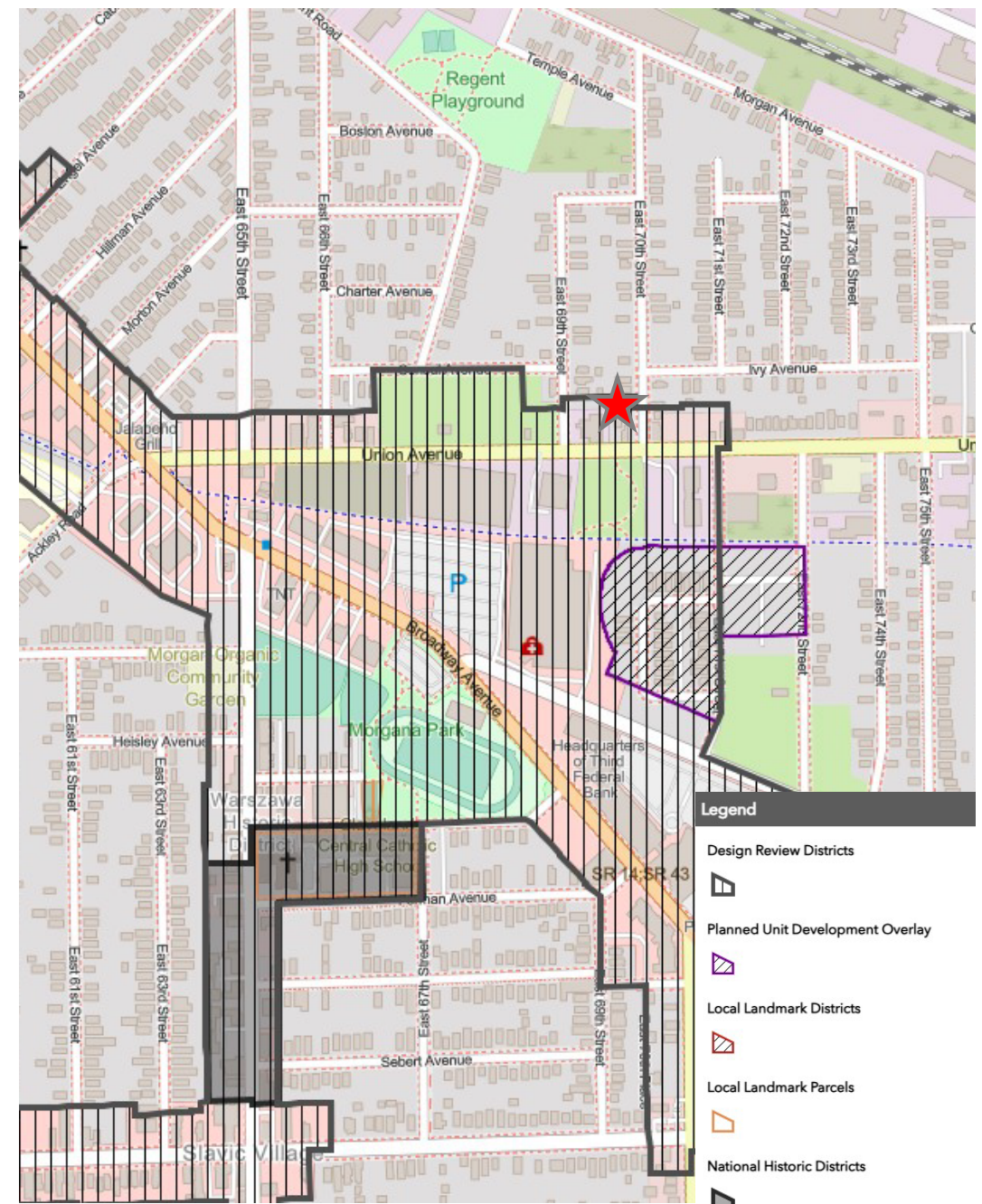
Design Review Region – Central Southeast

Submitted July 23, 2025

Site Location Map

District Level

- 3482 E 70th Street
- Located 175 Ft from Union Ave. and East 70th within the Central/Southeast Design Review District
- Two Family Colonial – Built 1910
- 1,691 Sq/Ft on a 50' X 125' lot
- 2 Car Garage built 1964
- Full basement / utility space



Site Context Plan



Site Context Plan



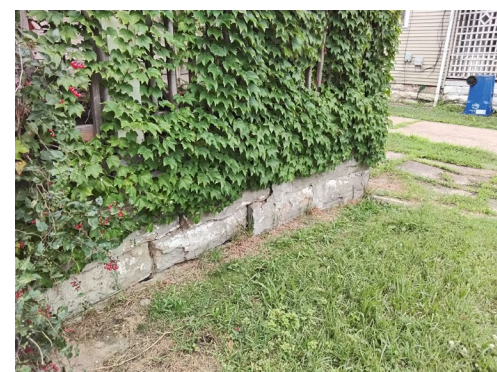
Existing Conditions – Street Level



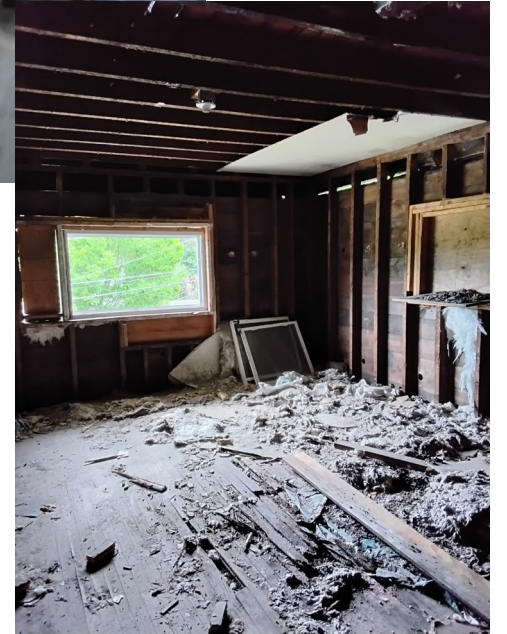
Existing Conditions – Street Level



Existing Conditions – Exterior



Existing Conditions – Interior



Existing Conditions – Interior





3482 E 70th Street Cleveland, OH 44127

PPN 125-33-072

Two Family House and Detached Garage

Site

Finish

Map



Central Southeast Design Review – Staff Report

CSE2025-031 – 3482 E 70th St Demolition

August 15, 2025

Design Review Advisory Committee:

CSEDRAC recommended final approval (with no conditions) on 8/12/25.

City Planning Staff:

Planning Staff is in support of this demolition.

Cleveland City Planning Commission

Northeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

NE2025-009 – Shorewood Monument Signs (2)

August 15, 2025

Project Address: 15500 Lake Shore Blvd

Type: Signage

Project Representative: Brandon Cline, Smartland LLC

Approval: Final

Ward 8: Council Member Polensek | **SPA: North Shore Collinwood** | **CDC: Greater Collinwood**

Shorewood Apartments Signage

15500 Lakeshore Blvd

City Planning Commission Hearing

August 15, 2025

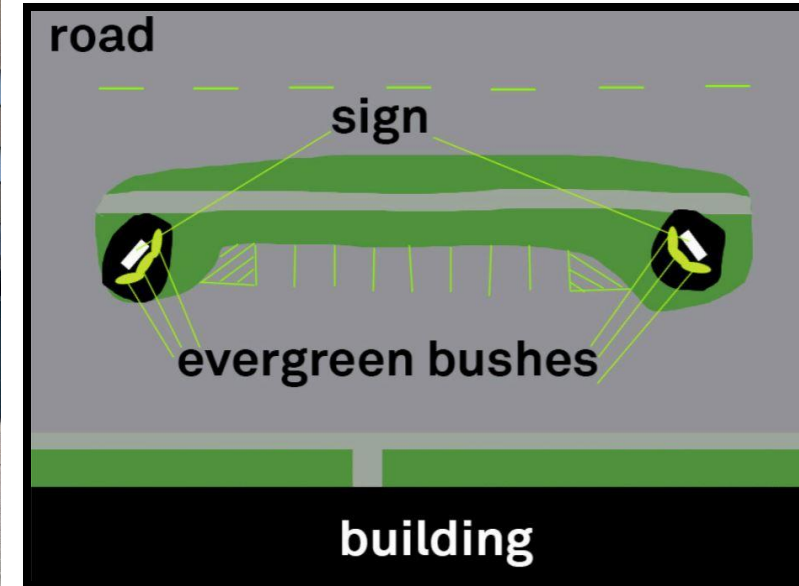
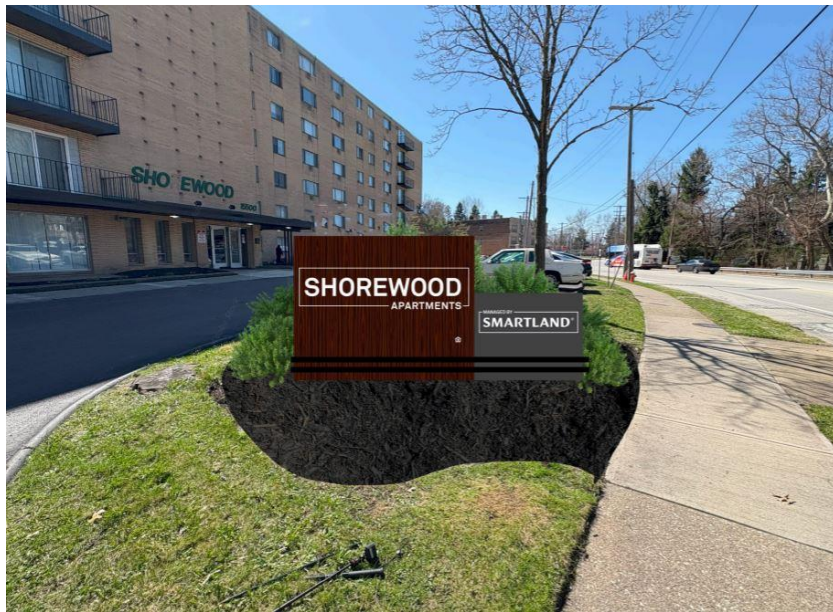


CITY OF CLEVELAND
Mayor Justin M. Bibb

CITY PLANNING COMMISSION

Proposal

Applicant is proposing two 14 square foot internally illuminated identification monument sign.



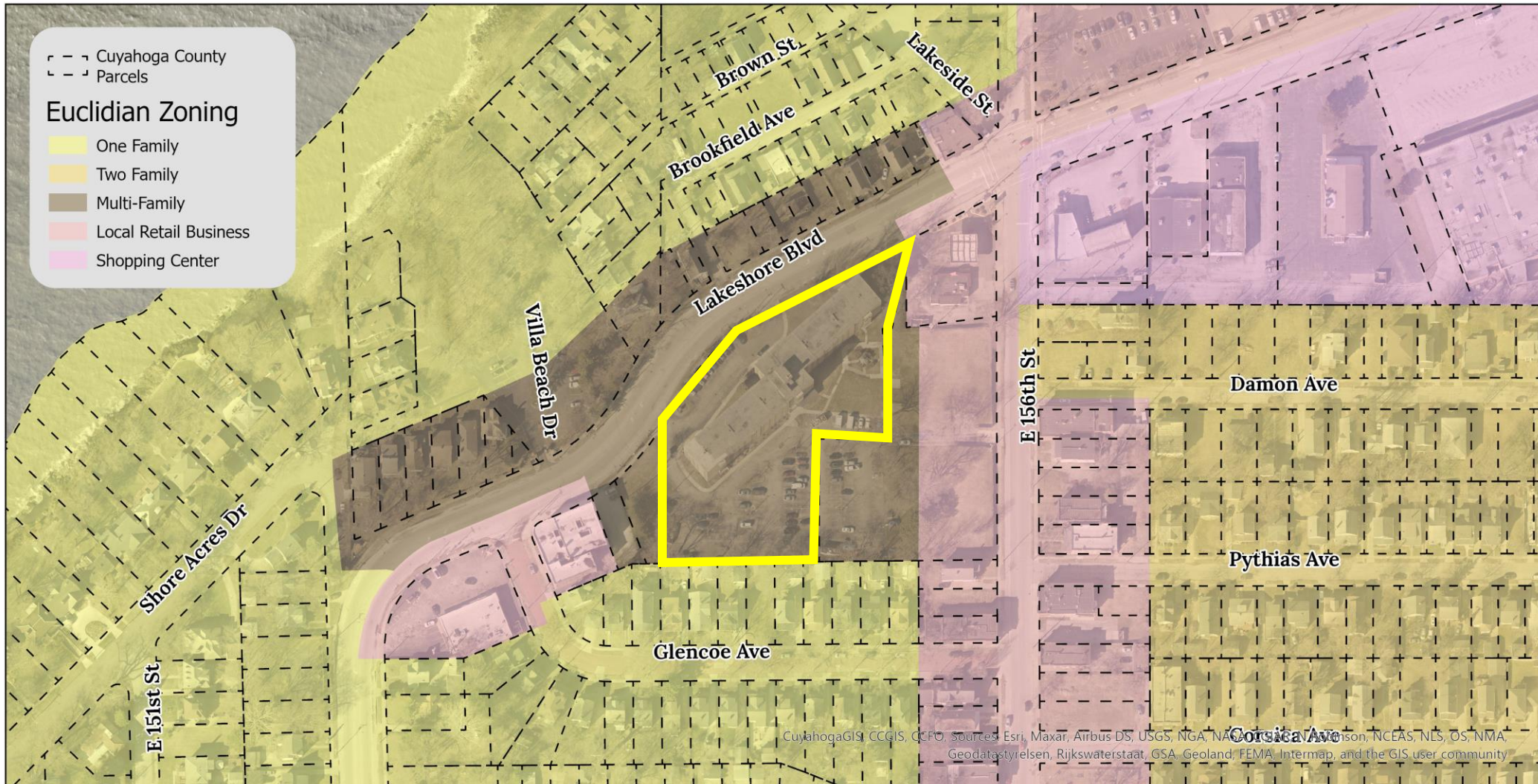
Existing Zoning

Multi-Family
Zoning District

-- Cuyahoga County
-- Parcels

Euclidian Zoning

- One Family
- Two Family
- Multi-Family
- Local Retail Business
- Shopping Center

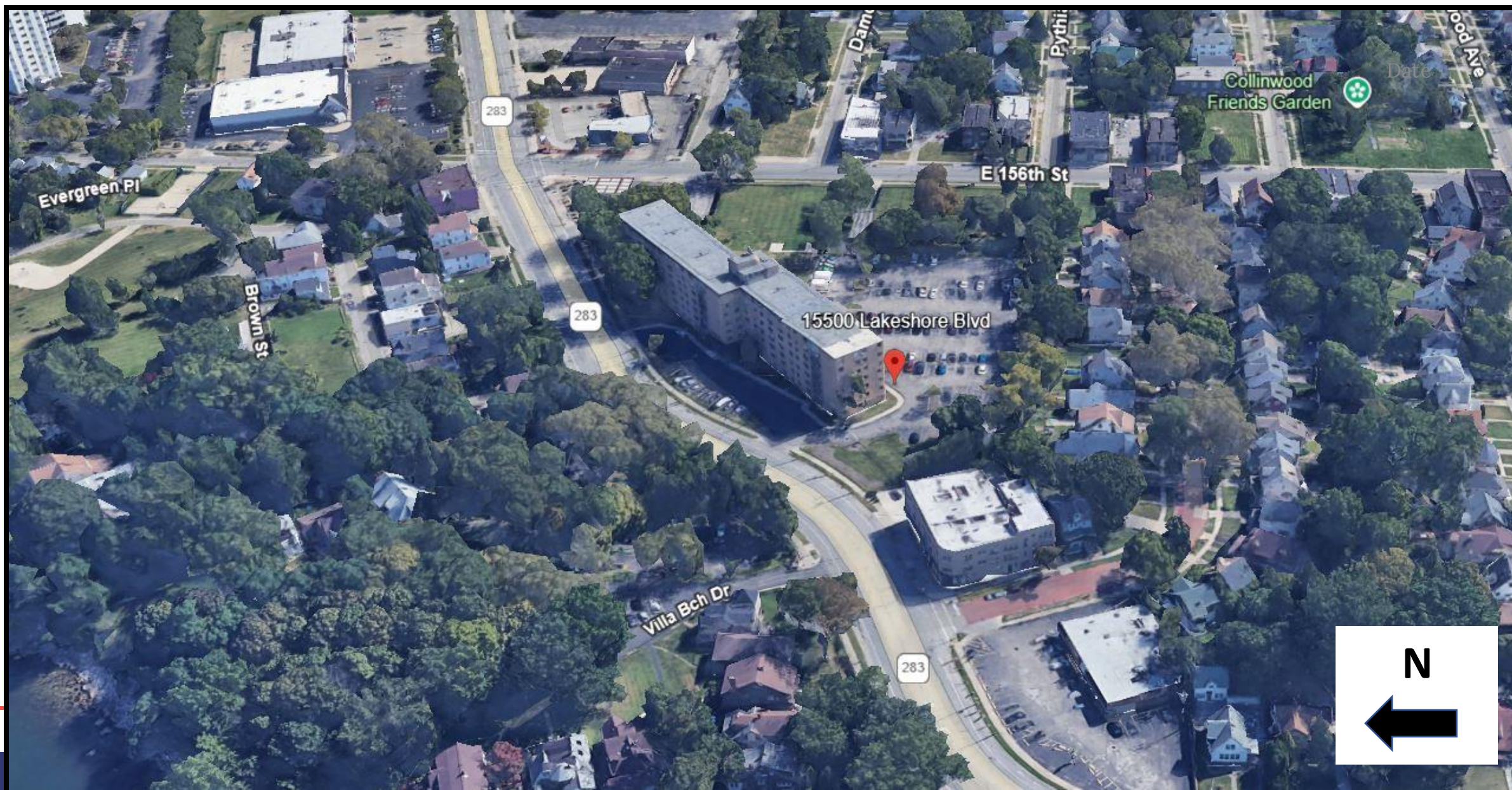


CITY OF CLEVELAND
Mayor Justin M. Bibb
CITY PLANNING

15500 Lakeshore Blvd

100
Feet





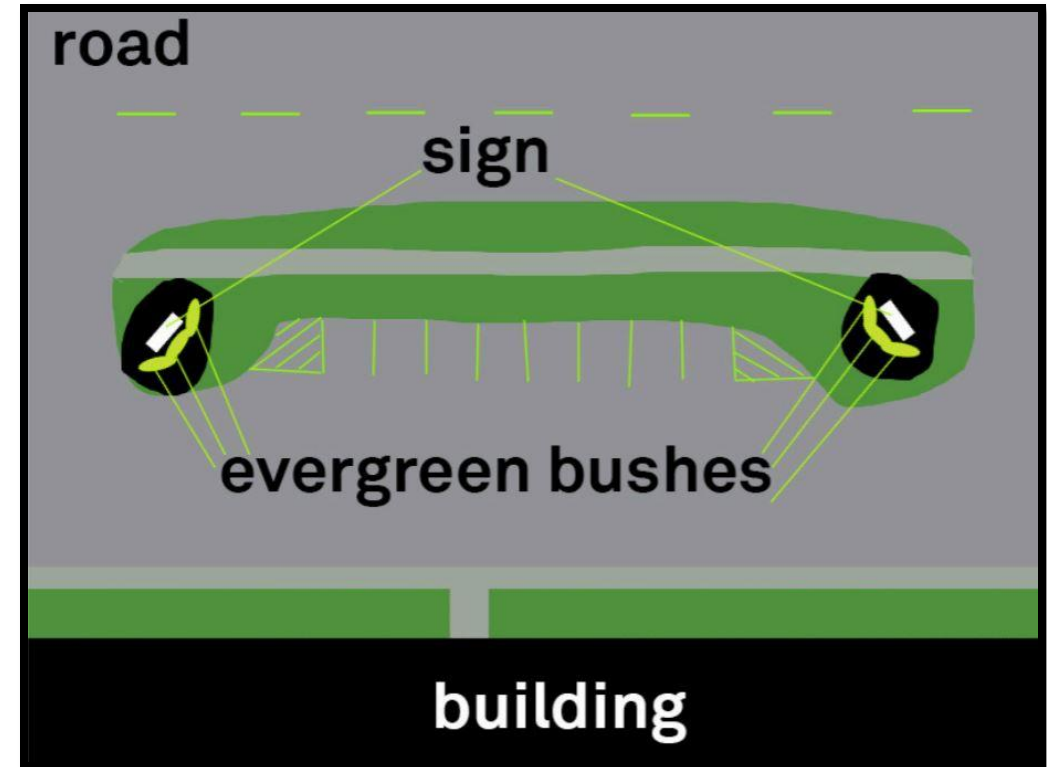
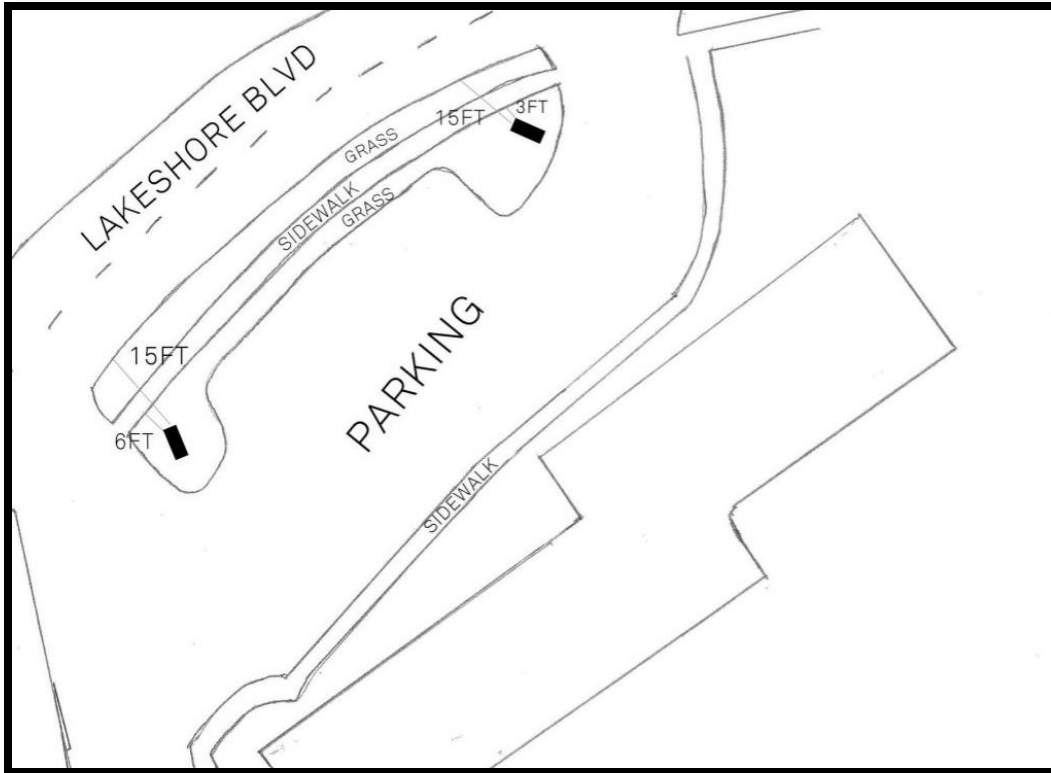
Why City Planning Commission?

- §350.16 gives City Planning Commission the jurisdiction to vary the Sign Code to either more strict or less strict regulations than what §350 requires based on a specific set of criteria: (*Administrative approval does not apply*)
 - **Design Compatibility:** may vary only if such variation will result in signage which is better suited to the design of the subject property or nearby properties of architectural or historic significance
 - **Design Guidelines:** any variation from regulations shall be approved only in accordance with applicable design guidelines adopted by CPC & City Council
 - **Minimum Variation:** Any variation shall be the **MINIMUM** necessary to ensure design compatibility
-

Variances Required

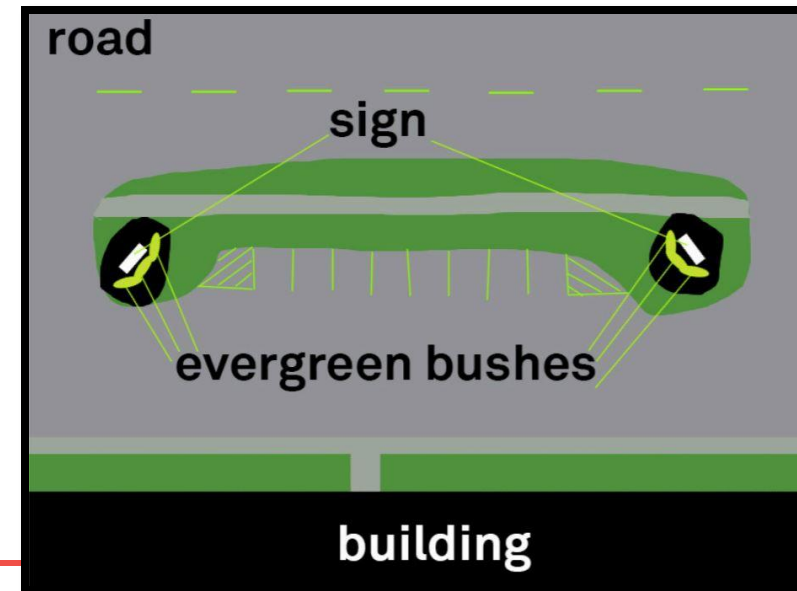
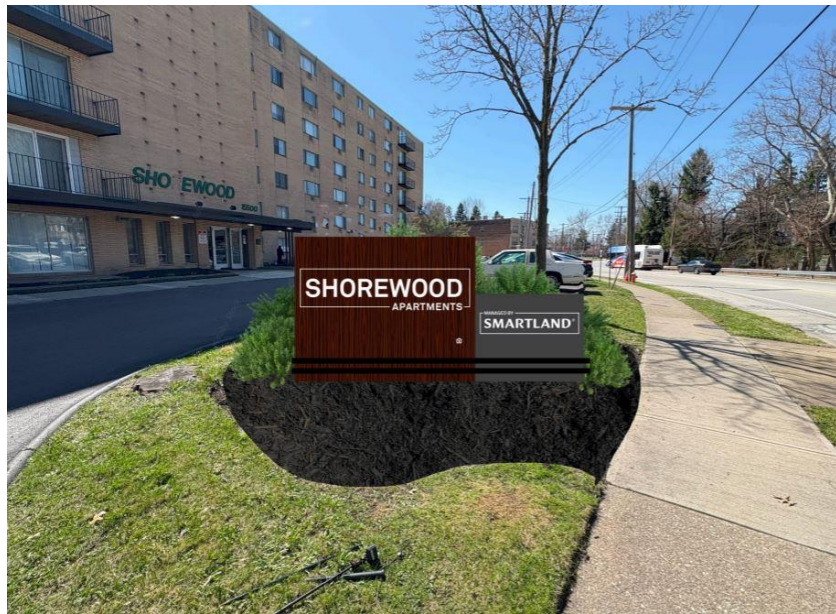
Identification Monument Sign:

- **Proposing 6ft & 3 ft**
- **Require variance for 14ft & 17ft from ROW**



Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (*Design Compatibility*)
- ❖ Does this result in signage that follows CPC's standard of *approved design guidelines*?
- ❖ **Are these variances the *minimum necessary* to ensure design compatibility with surrounding properties and residential neighbors?**



Shorewood Apartments Monument Signs



Project Summary: Shorewood Apartments Monument Signage Installation

This project proposes the installation of two new freestanding monument signs at Shorewood Apartments, a multifamily residential community. Each sign is designed to enhance the property's visibility, wayfinding, and overall presence within the neighborhood. With clean, modern lines and internally illuminated lettering, the signs will serve as clear and attractive identifiers for the property while contributing to a more cohesive and professional streetscape. The design and placement of the signs have been carefully considered to respect the surrounding environment and meet current visibility and accessibility standards.



At Smartland, we specialize in revitalizing undervalued properties to enhance neighborhoods and deliver high-quality housing options. Our mission is to provide residents with a unique blend of affordability and luxury through thoughtfully renovated apartment communities. Every applicant undergoes a thorough screening process including background, credit, and employment verification to ensure a safe and respectful living environment. We hold all of our properties to the highest standards, creating communities where residents can enjoy a superior quality of life that stands apart from the rest.



Project Benefits

- Establishes a strong, professional identity for the property
- Enhances curb appeal and creates a positive first impression
- Improves wayfinding for residents, visitors, and emergency services
- Increases visibility from the street, day and night
- Acts as a 24/7 marketing tool to attract prospective tenants
- Signals pride of ownership and quality property management
- Contributes to a clean, cohesive neighborhood appearance
- Promotes safety by reducing confusion at entry points



Existing Conditions

SMARTLAND®



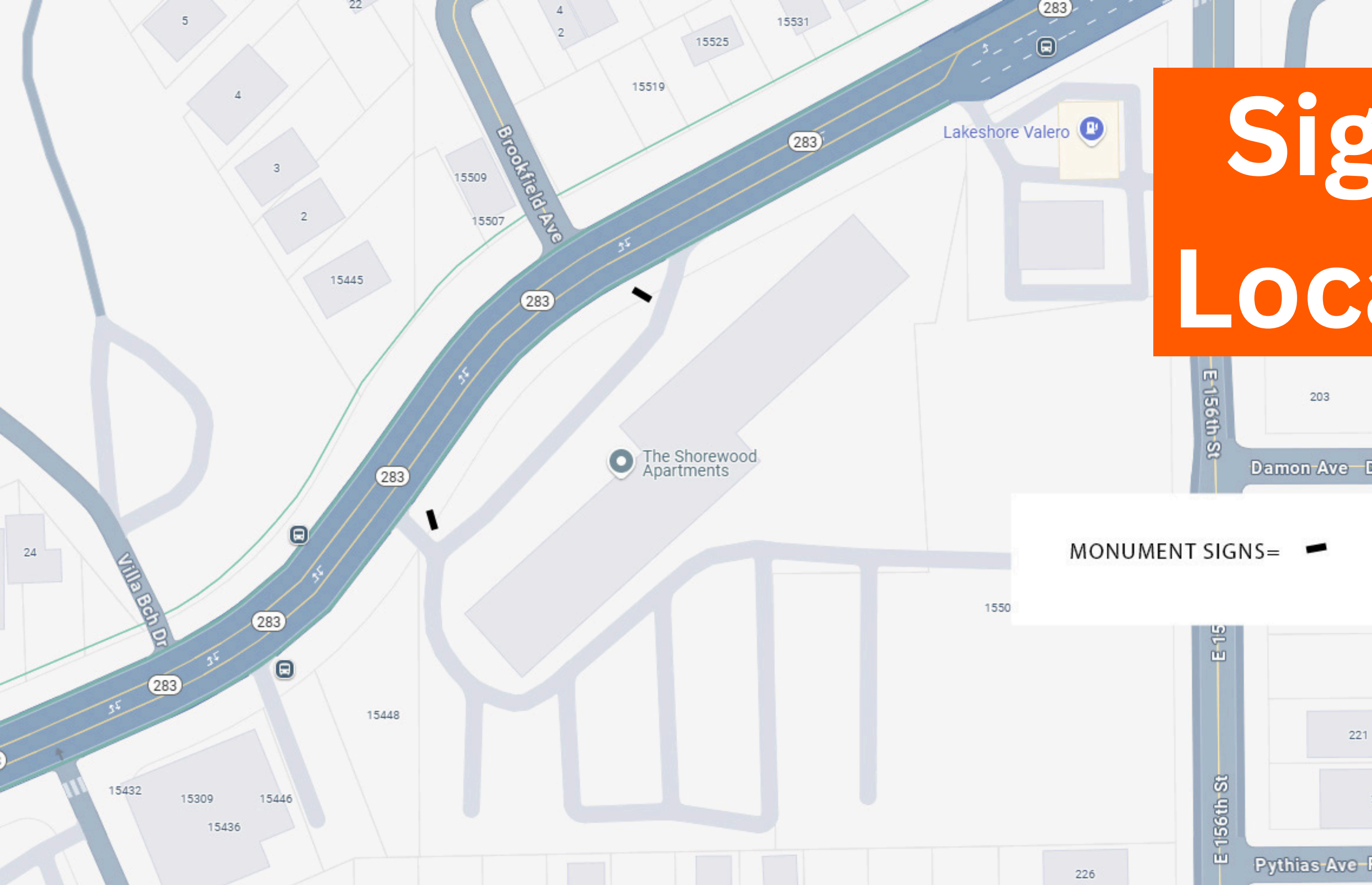
Existing Conditions

SMARTLAND®

Signage Locations



Signage Locations



Signage Locations

MONUMENT SIGNAGE= 



Signage Locations

The monument signs will be installed at both driveways serving Shorewood Apartments, positioned for maximum visibility to both residents and visitors. One sign will be located approximately 6 feet from the nearest sidewalk, while the other will be 3 feet from the sidewalk, with both positioned well outside of pedestrian walkways to ensure unobstructed access and safety. These placements were chosen to maximize street visibility without interfering with pedestrian circulation or the visual integrity of the property frontage.



Shorewood

15500 Lakeshore Blvd, Cleveland, OH 44110

4.5ft high, 9ft wide

quantity: 2

“Shorewood”- 9.52 in tall

”apartments”/equal housing logo-3.75 in tall

“managed by”- 1.75 in tall

smartland- 4.76 in tall



The monument sign for Shorewood Apartments features a clean, modern design that enhances the property's visual identity while fitting seamlessly into the surrounding streetscape. The layout includes illuminated lettering for clear visibility at all hours, with a structured and balanced composition that conveys professionalism and reinforces brand recognition. The design maintains a refined presence that complements the building's architecture without overpowering it, serving as an attractive and functional focal point at a key corner of the property.

Sign Design

SHOREWOOD

APARTMENTS



MANAGED BY

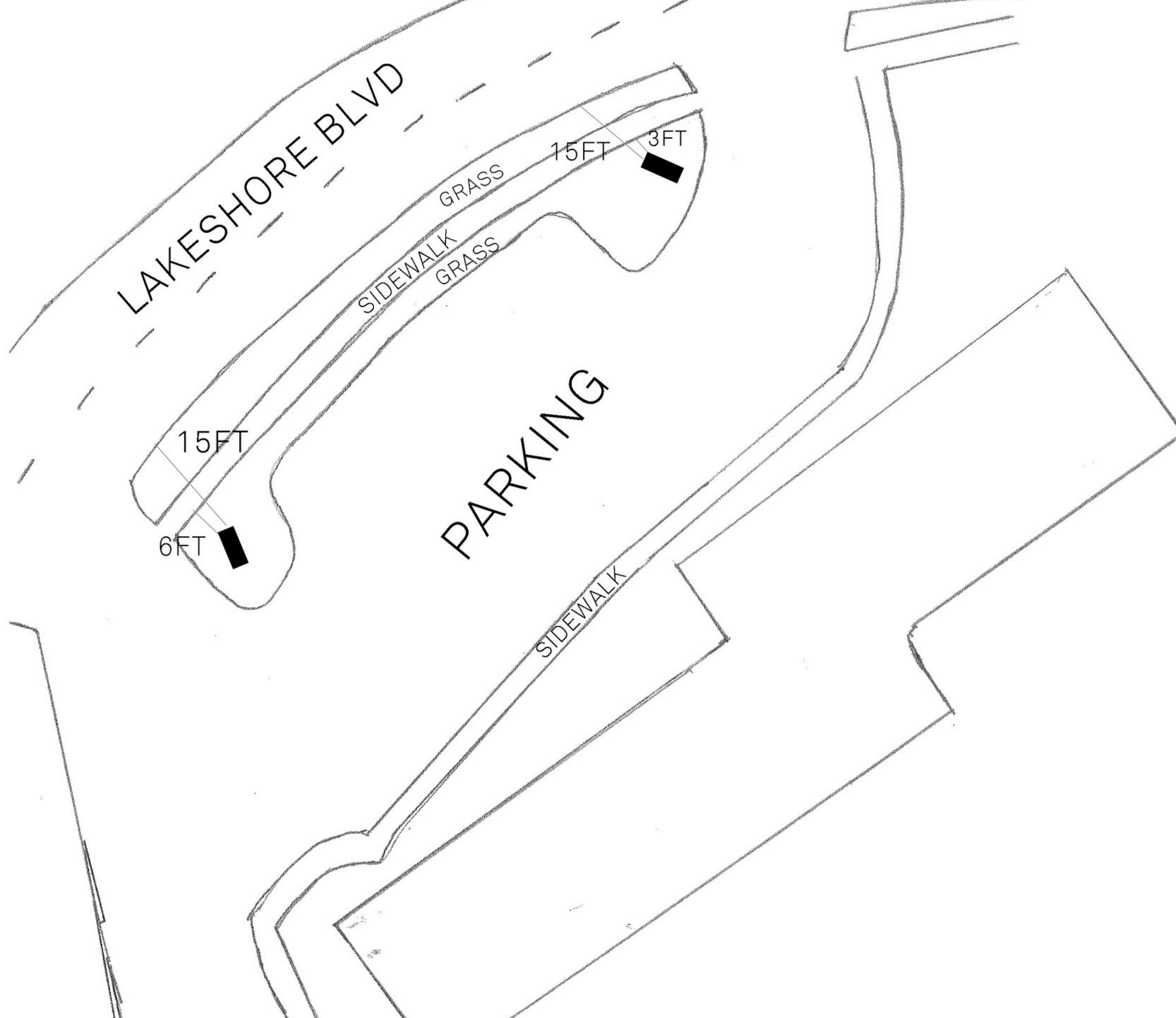
SMARTLAND®

SMARTLAND®

Site plans/ Materials

The proposed monument signs for Shorewood Apartments will each measure 9 feet wide by 4.5 feet high, with the shortest side of the sign tapering to approximately 26.3 inches in height. The signs will be constructed using high-quality stainless steel, aluminum, and acrylic to ensure long-term durability and resistance to weather conditions. Each sign will feature internally illuminated lettering and surrounding light boxes, incorporating waterproof LED modules for reliable performance in all weather. The lighting system is engineered for low power consumption, providing energy efficiency while maintaining clear nighttime visibility.

In terms of placement, one sign will be located approximately 6 feet from the nearest sidewalk, and the other will be positioned 3 feet from the sidewalk. Both locations have been selected to optimize visibility while preserving safe, unobstructed pedestrian access and maintaining compliance with local design standards.





Renderings

SMARTLAND®



Renderings

SMARTLAND®

road

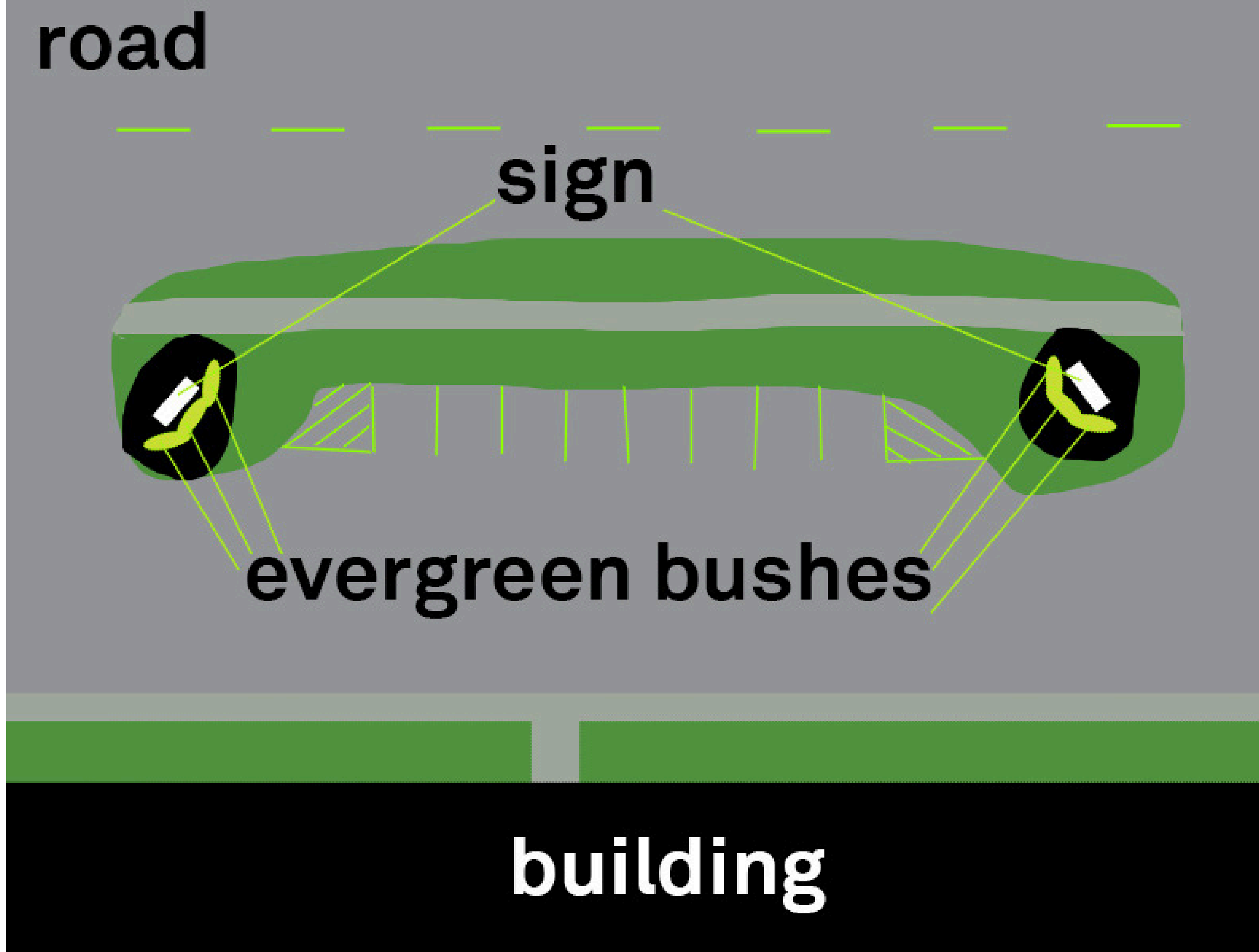
sign

evergreen bushes

building

Landscaping

SMARTLAND®





CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland City Hall
601 Lakeside Avenue, Room 519
Cleveland, Ohio 44114
T: 216/664-2532
landmarks@clevelandohio.gov

Cleveland Landmarks Commission Design Review Application

DATE: 4/15/25
PROJECT NAME: Shorewood Monument Signs Project
PROJECT ADDRESS/LOCATION: 15500 Lakeshore Blvd, Cleveland, OH 44110
OWNER: 15500 Lakeshore, LLC (via SMARTLAND LLC) EMAIL: Brandon.c@smartland.com

ARCHITECT: _____ EMAIL: _____
CONTRACTOR: _____ EMAIL: _____

Who will be presenting the project to the Design Review Advisory Committee and Landmarks Commission?

OWNER / ARCHITECT / CONTRACTOR

☒ ☐ ☐

BUILDING USE: ☐ Residential ☒ Commercial ☐ Mixed-Use

PROJECT TYPE: ☒ Renovation/Rehabilitation ☐ Addition ☐ New Construction ☐ Public Art
☐ Fence ☒ Sign* ☐ Site Improvement ☐ Demolition**

HISTORIC DESIGNATION: ☐ Historic District ☒ Individual Landmark

REVIEW LEVEL: ☒ Schematic ☐ Final

This project has completed a pre-review meeting or initial consultation with Landmarks Commission Staff

YES / ☒ NO If yes, when: _____

This project will be participating in City Programs for funding (i.e. SRP, LHC, RAH, SHAP, other)

YES / ☒ NO If yes, which program: _____

*SIGNAGE PROJECTS: The Landmarks Commission Design Review Signage Checklist must also be completed and submitted along with the application form

**DEMOLITION PROJECTS: I have received a copy of the Cleveland Landmarks Commission Process Regarding Applications for a Certificate of Appropriateness - Demolition (Chapter 161.05)

YES / ☒ NO

I, the undersigned, have reviewed the Secretary of the Interior's Standards for Rehabilitation and understand that it will be used by the Design Review Advisory Committee and Landmarks Commission to review proposed changes. If the project is deemed appropriate, a Certificate of Appropriateness will be issued.

Signature

4/15/25

Date

(For staff use only)

Historic District/Landmark Name:
Design Review Advisory Committee Case Number Assigned:
Landmarks Commission Case Number Assigned:



LANDMARKS COMMISSION DESIGN REVIEW SIGNAGE CHECKLIST

**Submissions are required in electronic form as one (1) compiled PDF and are due by noon seven days prior to the scheduled Design Review Advisory Committee meeting.*

Email files to landmarks@clevelandohio.gov or as directed by Landmarks Commission Staff. Staff will review submissions for completion. Incomplete submissions may be subject to a delay in review and your permit will not be issued.

Items Required:

- ☒ Landmarks Commission Design Review Application Form
- ☒ Written Project Summary (include location, scale, potential code issues, & any other pertinent information)
- ☒ Site Location Map (district level)
- ☒ Site Context Plan (i.e., site plan showing adjoining properties, buildings, and street names)
- ☒ Existing Conditions (color photographs; site context, with nearby buildings; existing signage, etc.)
- ☒ Signage Location Plan and/or Master Signage Package (verify if any additional signage is planned)
- ☒ To-Scale Detailed Dimensioned Drawings (as noted below)
- ☒ Illustrative Renderings (perspective or photo simulations to scale)
- ☒ Material, Color, & Finish Samples and Lists

To-Scale Detailed Dimensioned Drawings:

- ☒ Fully-dimensioned Existing & Proposed Signage
- ☒ Location of Signage on Structure:
 - ☒ Dimensioned vertically from ground plane/sidewalk (min. 10' clearance above sidewalk & 16' above vehicular pathways)
 - ☒ Dimensioned horizontally from Property Line/ROW & curb
- ☒ Section & Elevation Drawings (must show how signage relates to the existing architectural elements and any relevant adjacencies with dimensions)
- ☒ Shop Drawings (including how the signage will be affixed & engineered stamp if applicable)

Zoning Code Review Requirements:

Note: Signage that includes electrical and/or structural components, or encroaches on the Public ROW (including during the installation process) requires additional permit review.

**Variances require Landmarks Commission (second and fourth Thursdays) review & approval.*

- ☒ Signage square footage, length of bldg/unit's street frontage, primary frontage & entrance(s)
- ☒ Type of Signage Included (check all that apply):
 - ☐ Wall Sign
 - ☒ Free-Standing/Monument Sign
 - ☐ Projecting Sign
 - ☐ Window Sign (25% max coverage per window pane)
 - ☐ Canopy/Awning Sign
 - ☐ Roof Sign
 - ☐ Skyline/Hi-Rise Signage (Downtown/Flats area only, see attached skyline signage policy)
 - ☐ Identify Building Owner & Provide Letter of Approval/Authorization
 - ☐ Percentage of Building Occupied (over 50% typically required): _____
 - ☐ Temporary Sign (banner, flag, penant, window, portable, etc.)
 - ☐ Changeable Copy Sign (automatic/manual)
 - ☐ Billboard
 - ☐ Other (please specify): _____
- ☒ Internally or Externally Lit? (If so, include night rendering & applicable drawings/plans): ☒ Yes / ☐ No

**Note: Ownership/Authorized Decision-Maker & Design Representative should be present for the meeting, not just Fabricator. (No Ownership present to answer questions may cause delay in review process).*



① 第一步
1ST STEP
支架位置挖坑
Choose the
installation location
and dig a pit



② 第二步
2ND STEP
将立牌支架放入坑中
Place the sign stand
into the pit



③ 第三步
3RD STEP
坑内浇灌混凝土
Pouring concrete
in pit

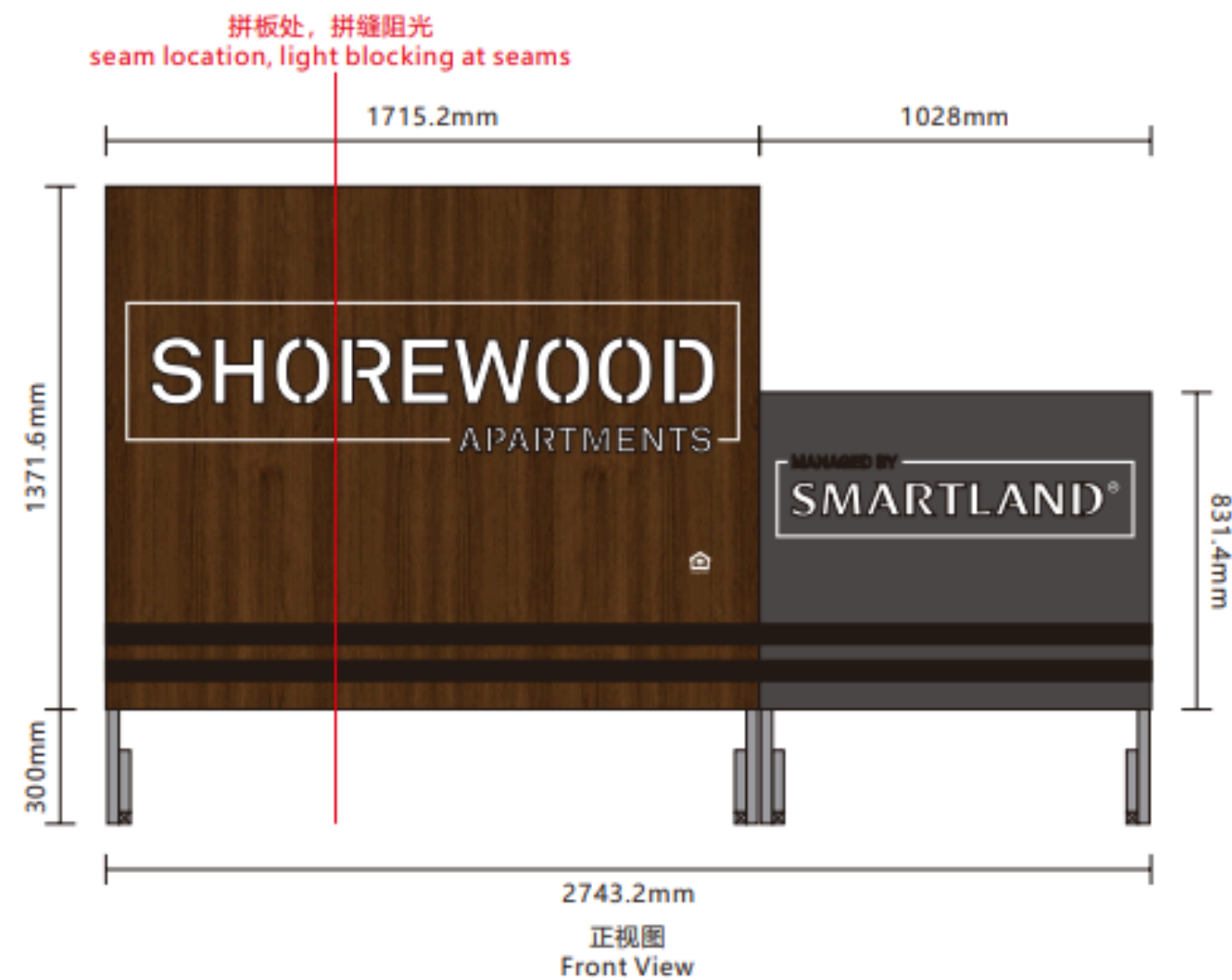


④ 第四步
4TH STEP
等待混凝土凝固后，
将沙土回填
After the concrete
solidified,
fill the sand back



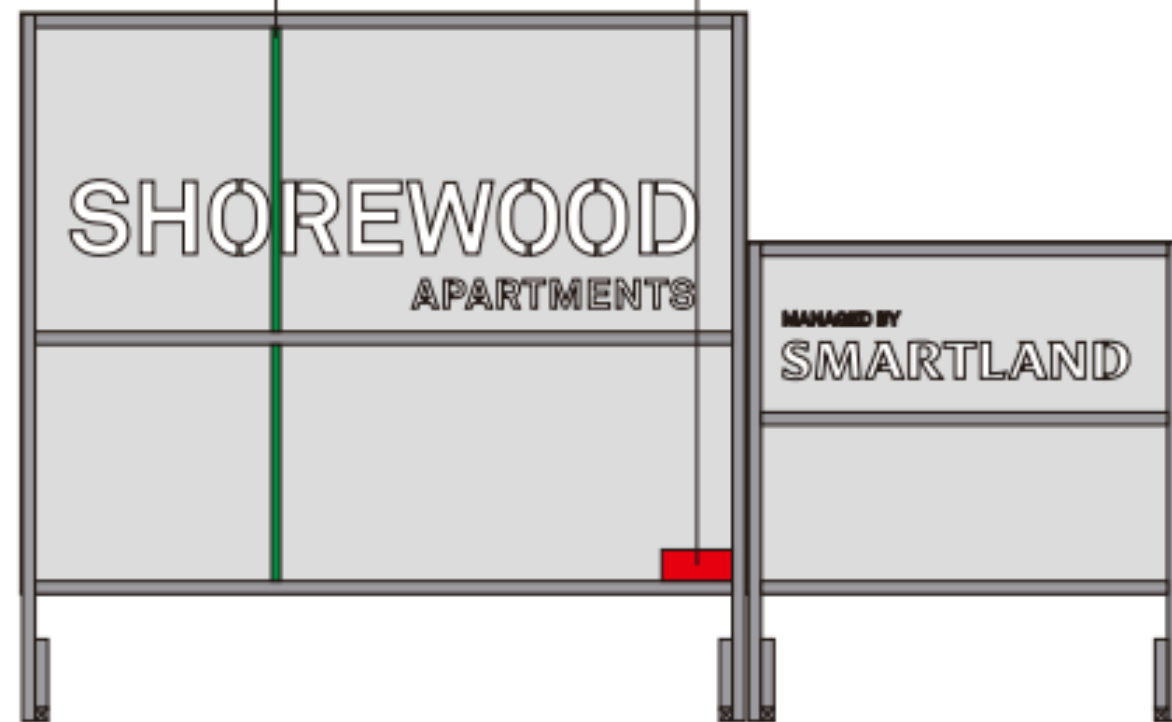
⑤ 第五步
5TH STEP
将立牌线接入插座
Connect the wires
for signboard to
the socket





20x20mm 304#不锈钢方管
20*20mm stainless steel tube

内置户外防水电源
built-in waterproof power supply



正视图工艺图
Front Overall View



侧视图工艺图
Left Side Overall View



侧视图工艺图
Right Side Overall View



丝印不发光区域
NO LIGHT SILK PRINT PART

SHOREWOOD
APARTMENTS
MANAGED BY
SMARTLAND

背垫亚克力发光区域
LIGHT ACRYLIC PART

NE2025-009 – Shorewood Monument Signs (2)

August 15, 2025

Design Review Advisory Committee:

NEDRAC recommended final approval on 8/5/25:

- Consider having the color of the center attachments be White.
- Have landscaping behind the signs.

City Planning Staff:

Staff recommends approval so that Shorewood Apartments can:

- Improve the property's visibility to pedestrian and vehicular traffic traveling east and west along Lakeshore Boulevard.
- Improve the visual appearance of the company branding.
- Adhering to the current setback will place the sign inside the parking area further away from public view.

Cleveland City Planning Commission

Far West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

FW2024-03 – 14734 Lorain Avenue Demolition

August 15, 2025

Project Address: 14734 Lorain Avenue

Type: Demolition

Project Representative: Morad Herbawi, Infinity Demolition LLC

Approval: Final

Ward 17: Council Member Slife

SPA: Kamm's

CDC: West Kamm's NDC

Request for Demolition

14734 Lorain Ave, Cleveland OH 44111

Presented by Infinity Demolition LLC



Overview of Property

- Vacant structure at Lorain Ave, Cleveland, OH
- High safety and environmental risks
- Visual structural damage inside and outside

Physical Condition Summary

- Roof damage and interior collapse in sections
- Water infiltration and mold presence
- Rotting materials and deteriorating floors/walls
- Unsafe conditions for entry or occupancy

Estimated Renovation Needs

- Roof Replacement: \$40,000 – \$60,000
- Electrical & Plumbing Systems: \$30,000 – \$50,000
- Structural Reinforcement: \$25,000 – \$40,000
- Concrete Flooring \$100,000 – \$150,000
- Mold Remediation & Cleanup: \$20,000 – \$35,000
- Hazardous Material Removal: \$15,000 – \$25,000

Renovation Cost Estimates

- Estimated Total: \$130,000 – \$310,000+
- Exceeds potential resale or rental value
- High liability and insurance risk
- Not financially feasible for rehab

Code Compliance & Safety Issues

- Fire hazards from exposed wiring and debris
- Structural instability and collapse risk
- Health issues due to mold, pests, and decay
- Inaccessible and not ADA compliant

Justification for Demolition

- Renovation is not economically viable
- Significant safety hazards remain unresolved
- Prevents improvement of surrounding properties
- Demolition allows for safe redevelopment



W 147th Street

Lorain Avenue



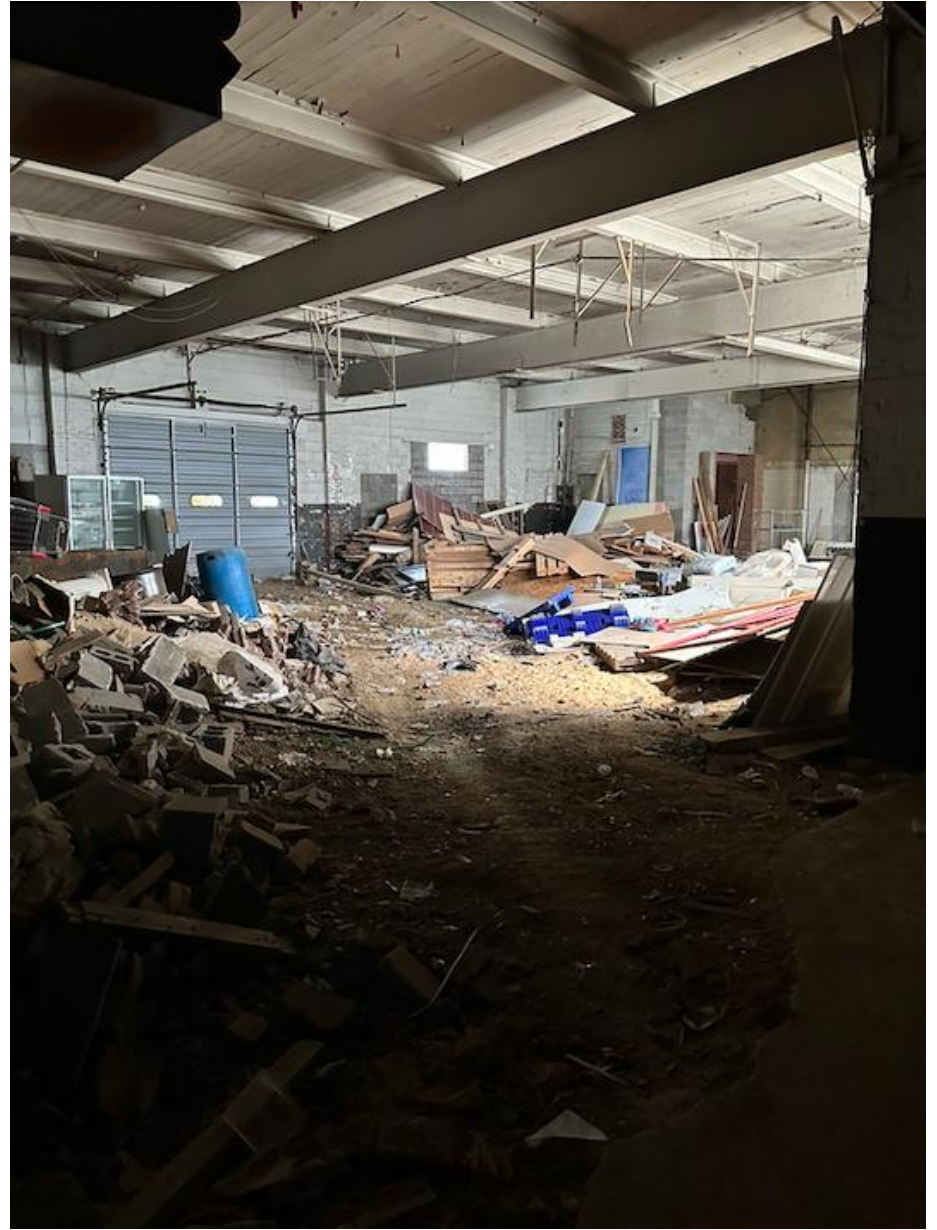
W 150th Street

ROSS
DRESS FOR LESS

Burlington

BIG
LOTS!









Exterior



Conclusion & Request

- Infinity Demolition LLC requests approval to demolish the structure at Lorain Ave.
- The property is unsafe and poses continued risks.
- Demolition is the most responsible and cost-effective solution.
- Post-demolition plans include grading and seeding the lot, including currently paved parking areas.

FW2024-03 – 14734 Lorain Avenue Demolition

August 15, 2025

Design Review Advisory Committee:

FWDRAC recommended final approval with conditions on 8/6/25:

- Demolition must include all site features, such as paved parking areas, masonry walls, bollards, signs, foundations of buildings, etc.
- Grass and seed the entire lot
- Establish a maintenance plan for the lot after demolition

City Planning Staff:

Staff is supportive of the demolition and including conditions from Design Review to ensure the site is maintained while the site is marketed for redevelopment

FW2025-09 – Rocky River Drive Plaza

August 15, 2025

Project Address: 4622 Rocky River Drive

Type: New Construction – Commercial

Project Representative: JP Ptacek, Larsen Architects

Approval: Schematic

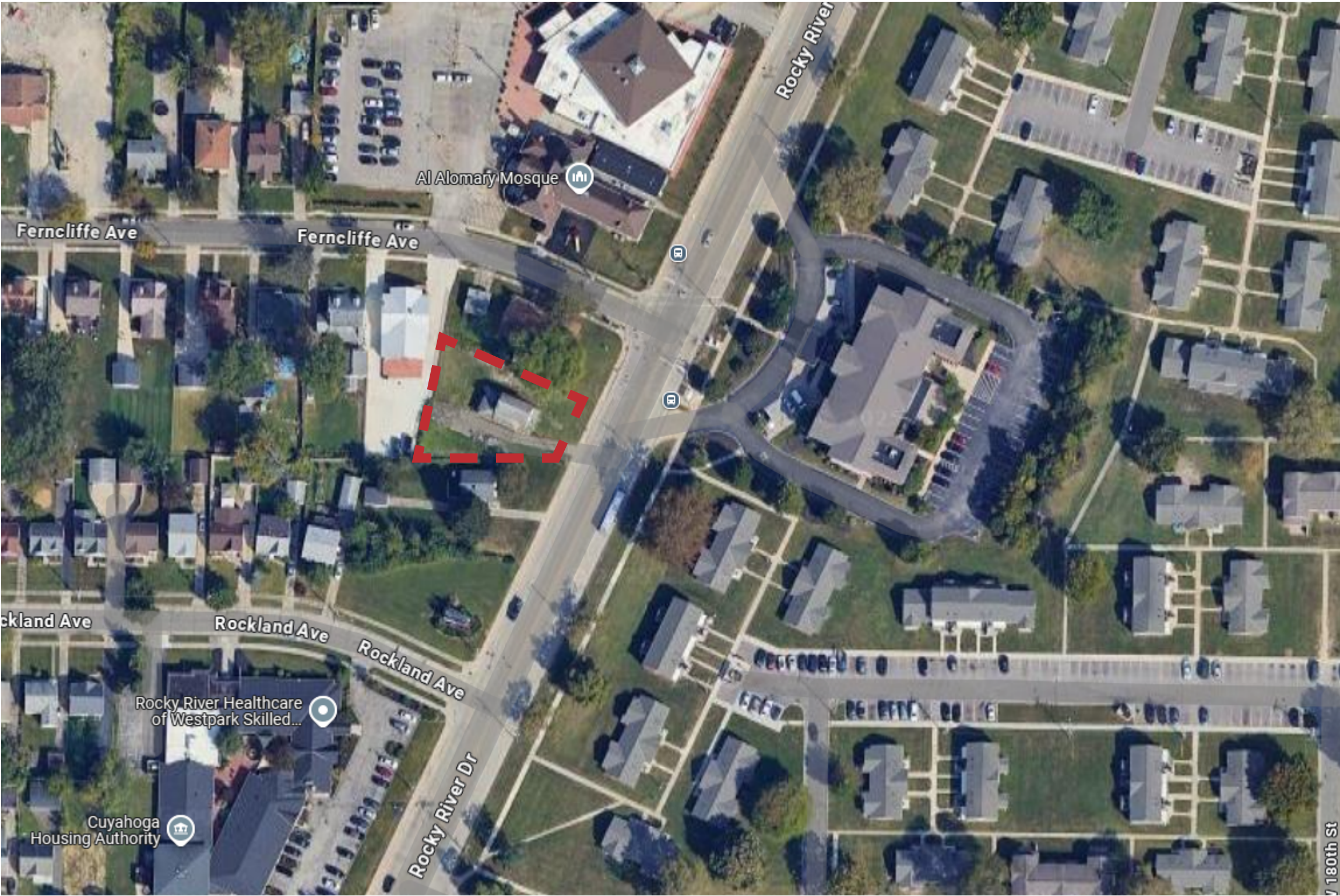
Ward 17: Council Member Slife

SPA: Kamm's

CDC: West Kamm's NDC

Proposed Plaza Building
4622 Rocky River Drive

Project Number: 25041
8/13/2025



Aerial Location Plan
Scale: Not to scale



4622 Rocky River Drive

Parcel Number:	026-33-022
Owner:	Cleveland Muslim Community Center
Area District:	B
Height District:	1
Use District:	Two Family
Zone Code:	2F-B1
Review District:	Kamms Corners Expansion
Ward:	17
Lot Size:	.232 Acres

Currently site contains a two-story wood and aluminum sided single family home. The structure is proposed to be razed and replaced with 2,987sf masonry retail building.

Proposed Plaza Building
4622 Rocky River Drive

Project Number: 25041
8/13/2025



18244 Ferncliffe Avenue



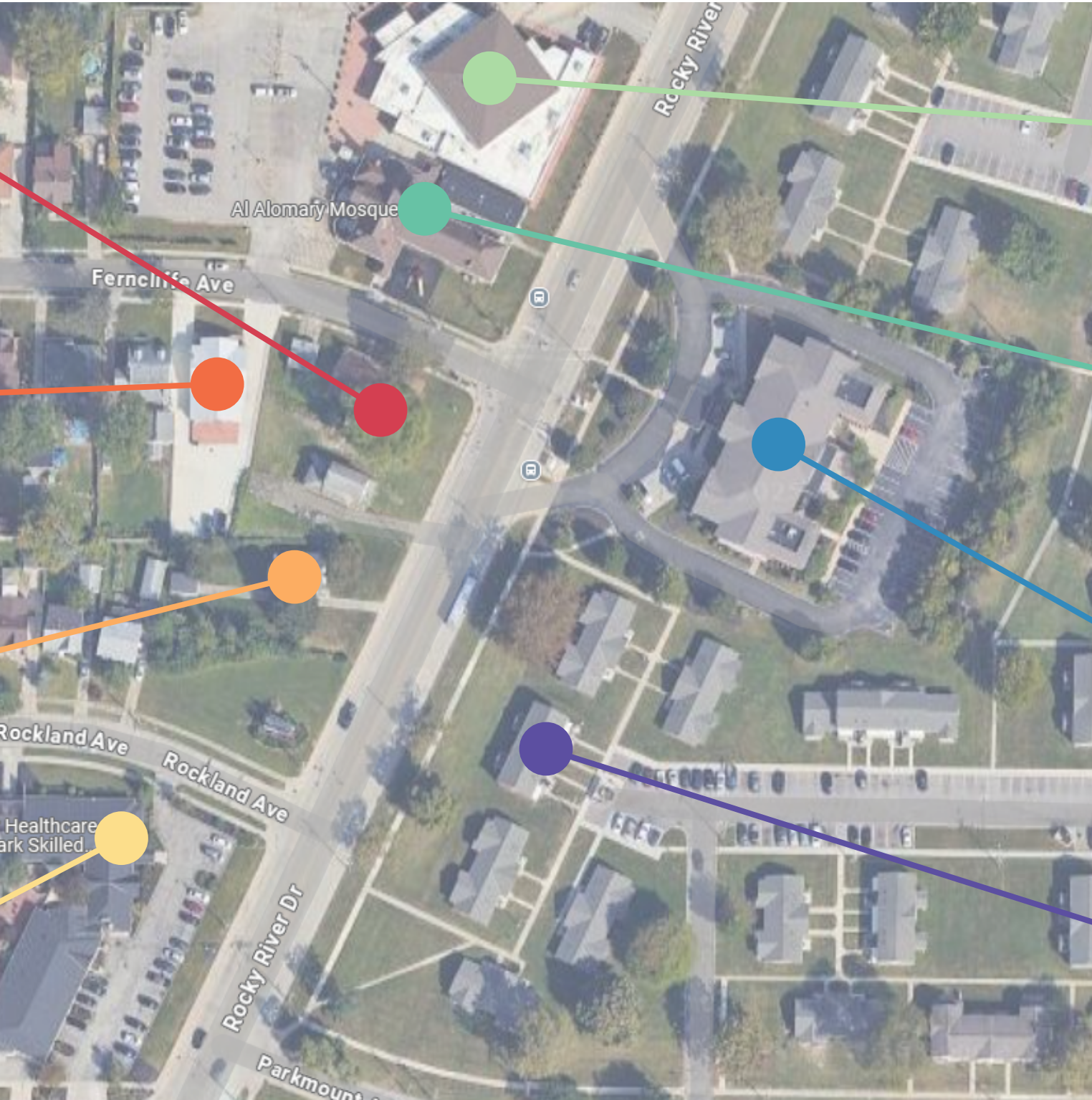
18301 Ferncliffe Avenue



4626 Rocky River Drive



4650 Rocky River Drive



4600 Rocky River Drive



4600 Rocky River Drive



4609 Rocky River Drive



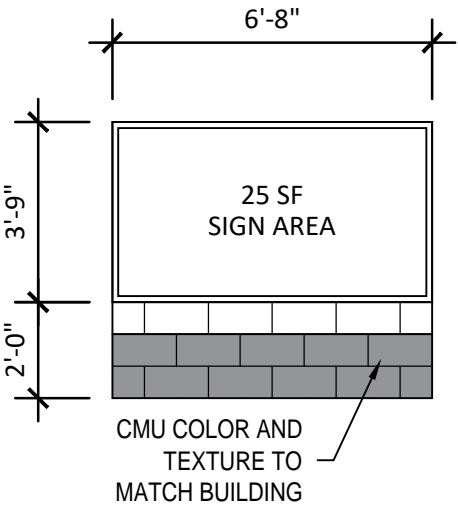
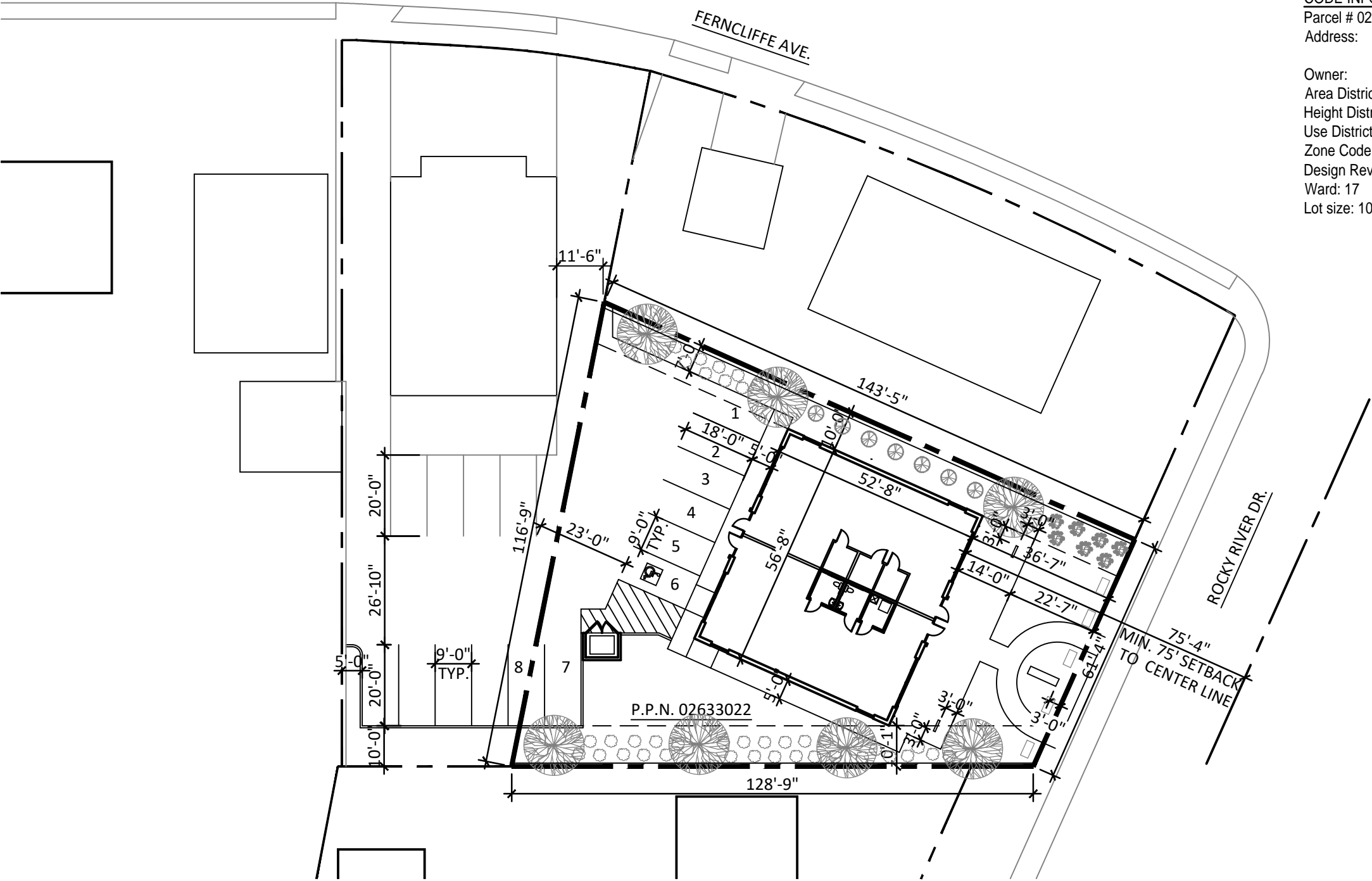
4650 Rocky River Drive



1 AERIAL SITE PLAN WITH PROPOSED DEMOLITION
SCALE: 1" = 30'

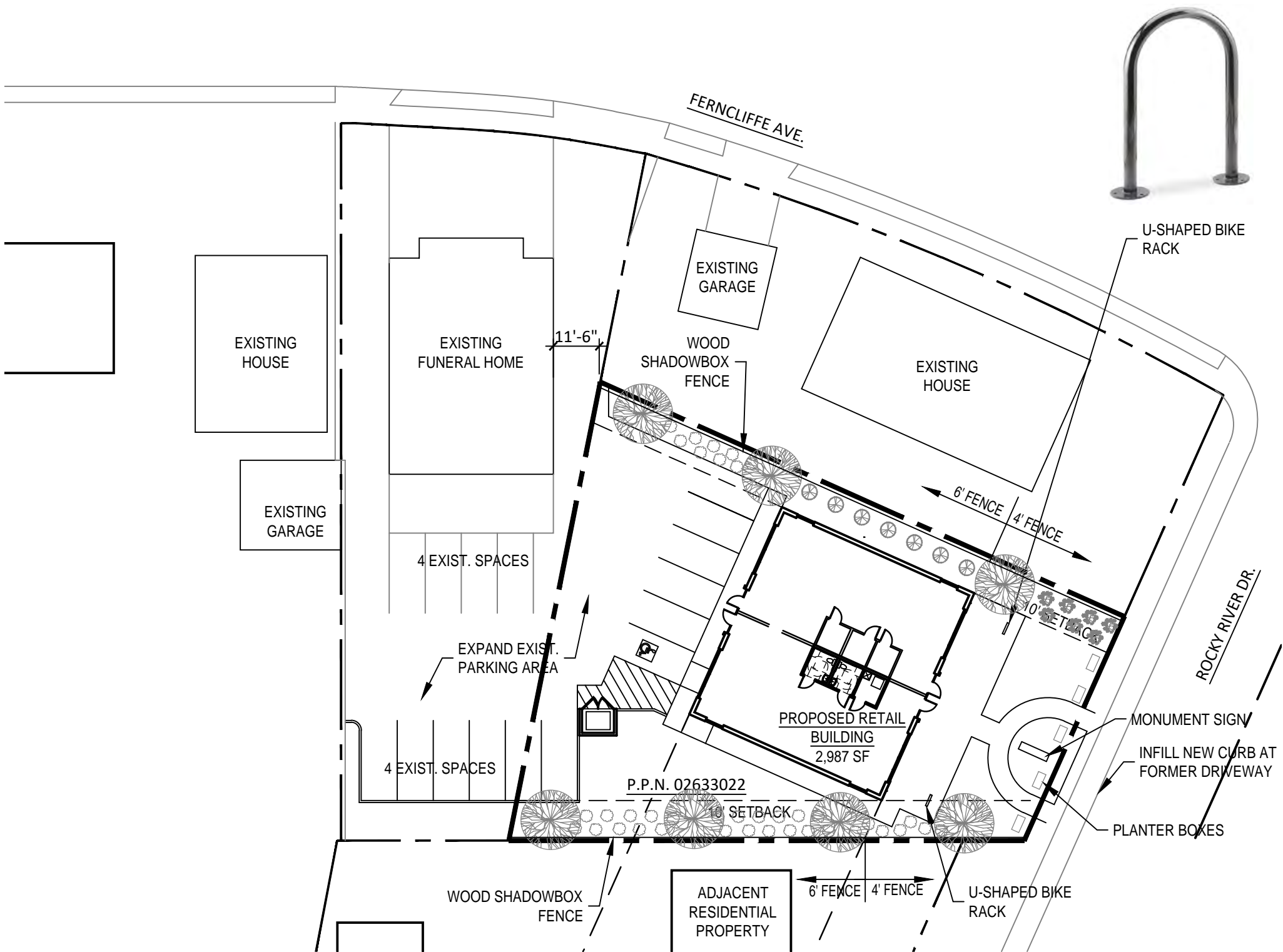


CODE INFO:
Parcel # 02633022
Address: 4622 Rocky River Dr.
Cleveland, OH, 44135
Owner: Cleveland Muslim Community Center
Area District : B
Height District: 1
Use District: Two Family
Zone Code: 2F-B1
Design Review District: Kamms Corners Expansion
Ward: 17
Lot size: 10,108 SF (.232 Acres)



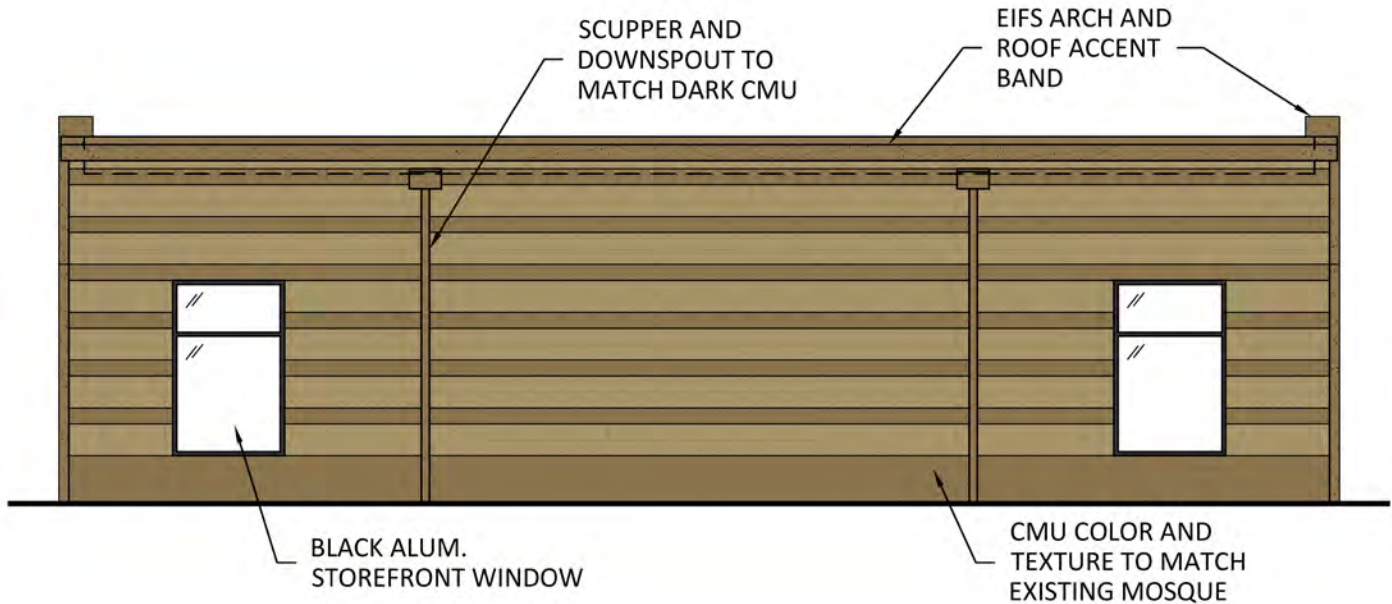
1 SITE PLAN
SCALE: 1" = 30'

2 MONUMENT SIGN ELEVATION
SCALE: 1/4" = 1'-0"

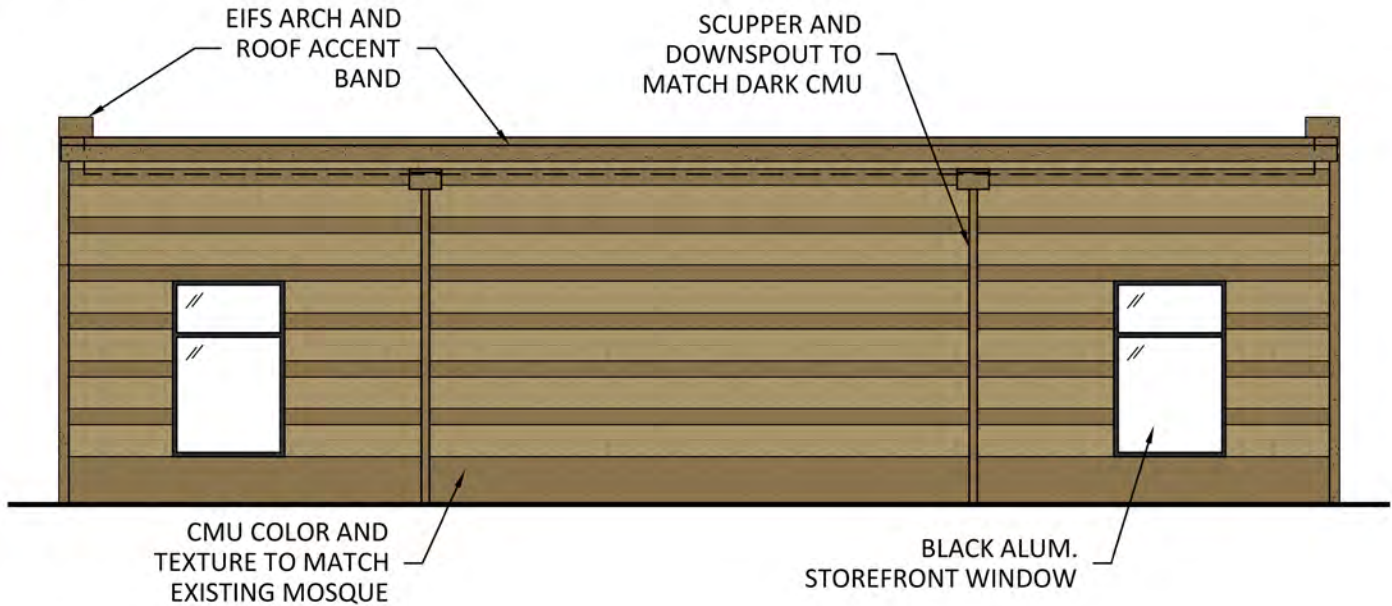


PLANT SYMBOL LEGEND		
		AMERICAN RED MAPLE (ACER RUBRUM) OHIO NATIVE 25'-45' SPREAD, 40'-60' HIGH FULL SUN
		ARBORVITAE EMERALD GREEN (THUJA OCCIDENTALIS SMARAGD) OHIO NATIVE 4' SPREAD, 12-15' HIGH FULL TO PART SUN
		RED TWIG DOGWOOD-VARIEGATED (CORNUS ALBAELEGANTISSIMA) OHIO NATIVE 3'-5' SPREAD, 3'-5' HIGH FULL TO PART SUN
		DWARF YEW (TAXUS BREVIFOLIA YEW) OHIO NATIVE 3'-4' SPREAD, 3'-4' HIGH FULL TO PART SUN
		GRO-LOW FRAGRANT SUMAC (RHUS AROMATICA) OHIO NATIVE 5'-6' SPREAD, 1'-2' HIGH PART TO FULL SUN
PER SECTION 352, LANDSCAPE BUFFER INTENSITY IS CLASSIFIED AS "HEAVY"		
REQUIRED PLANTINGS: MINIMUM (8) 8'-0"H/2.5" CALIPER PLANTING AVERAGE 30' SPACING		
MINIMUM (20) SHRUBS MINIMUM 2'-6" HIGH AVERAGE 12' SPACING		

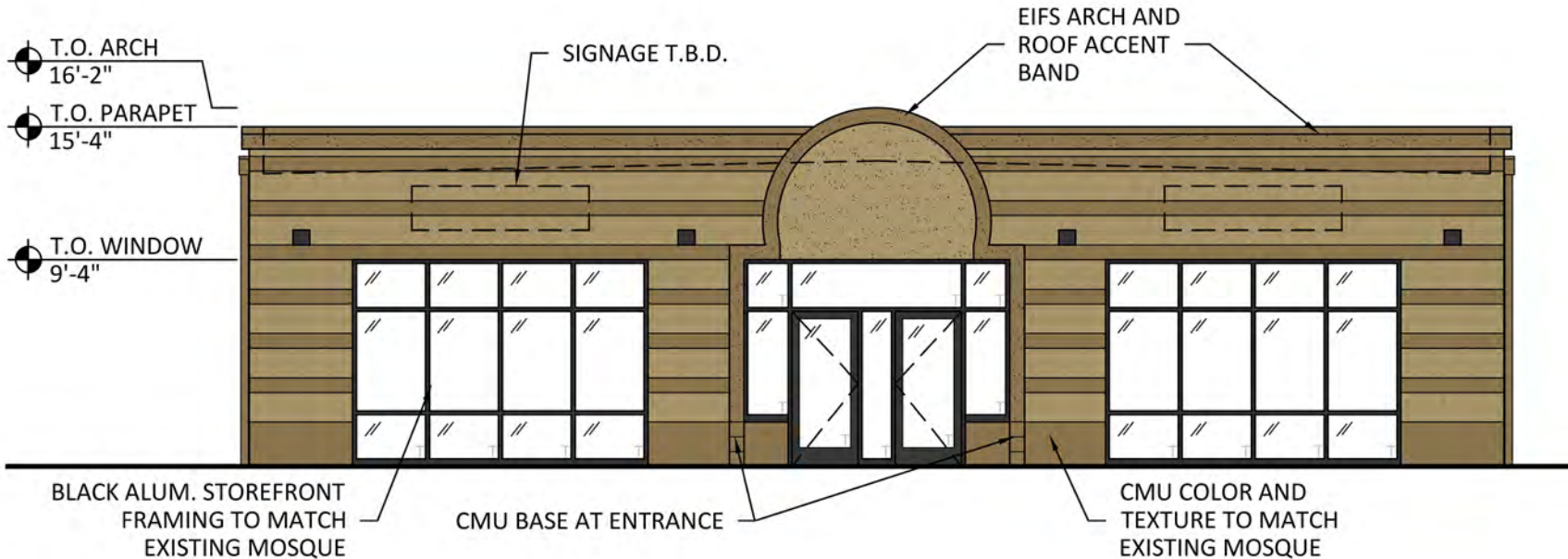




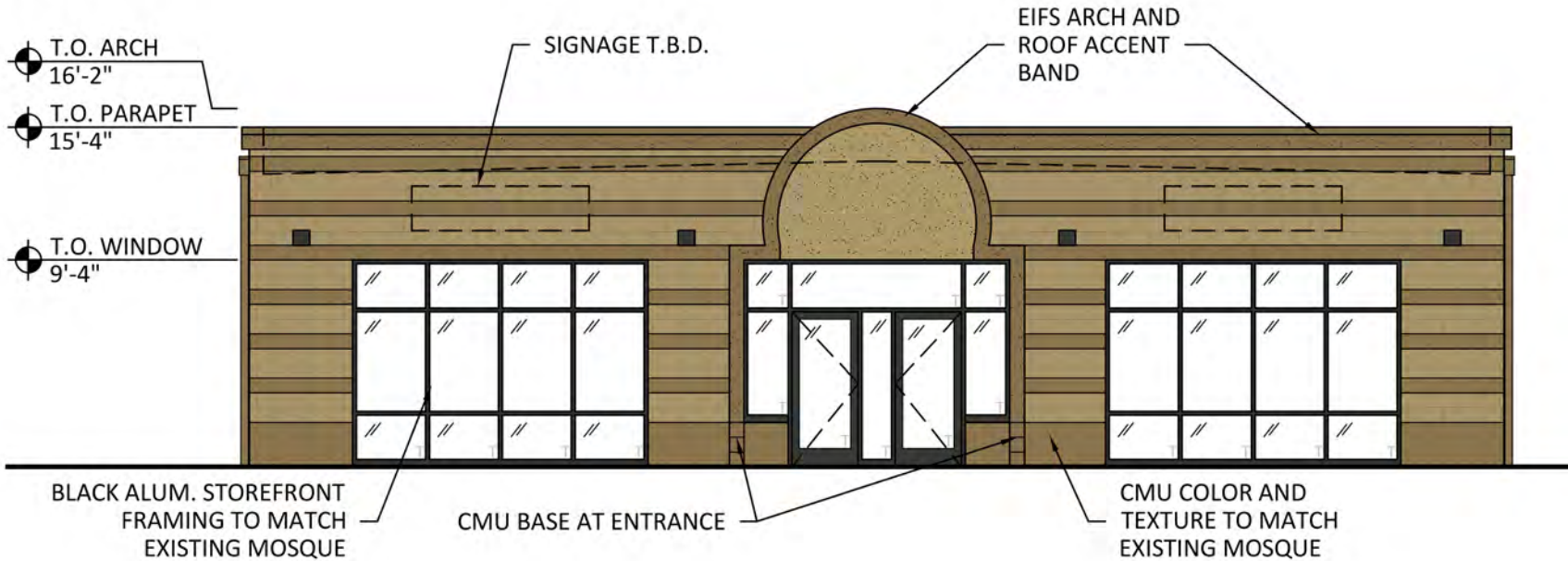
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



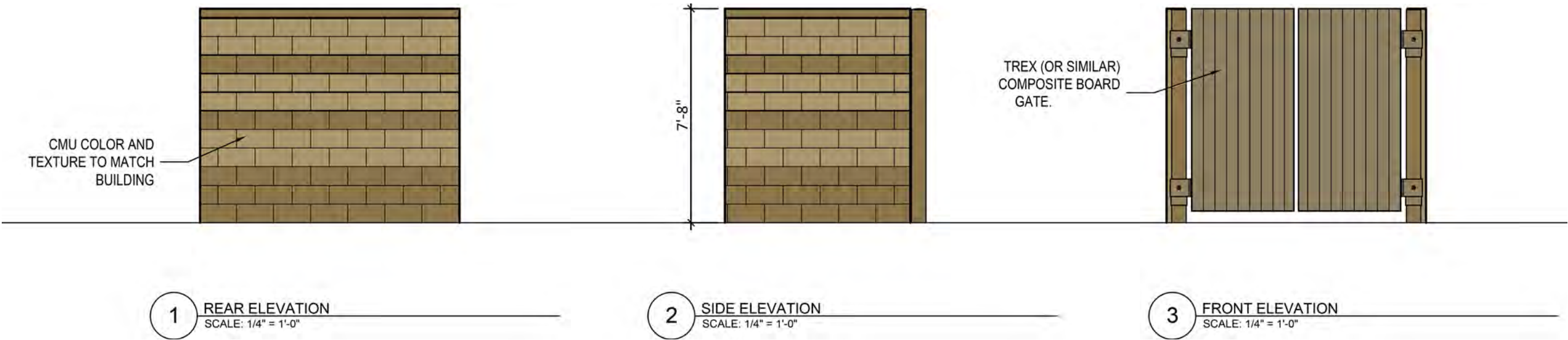
3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

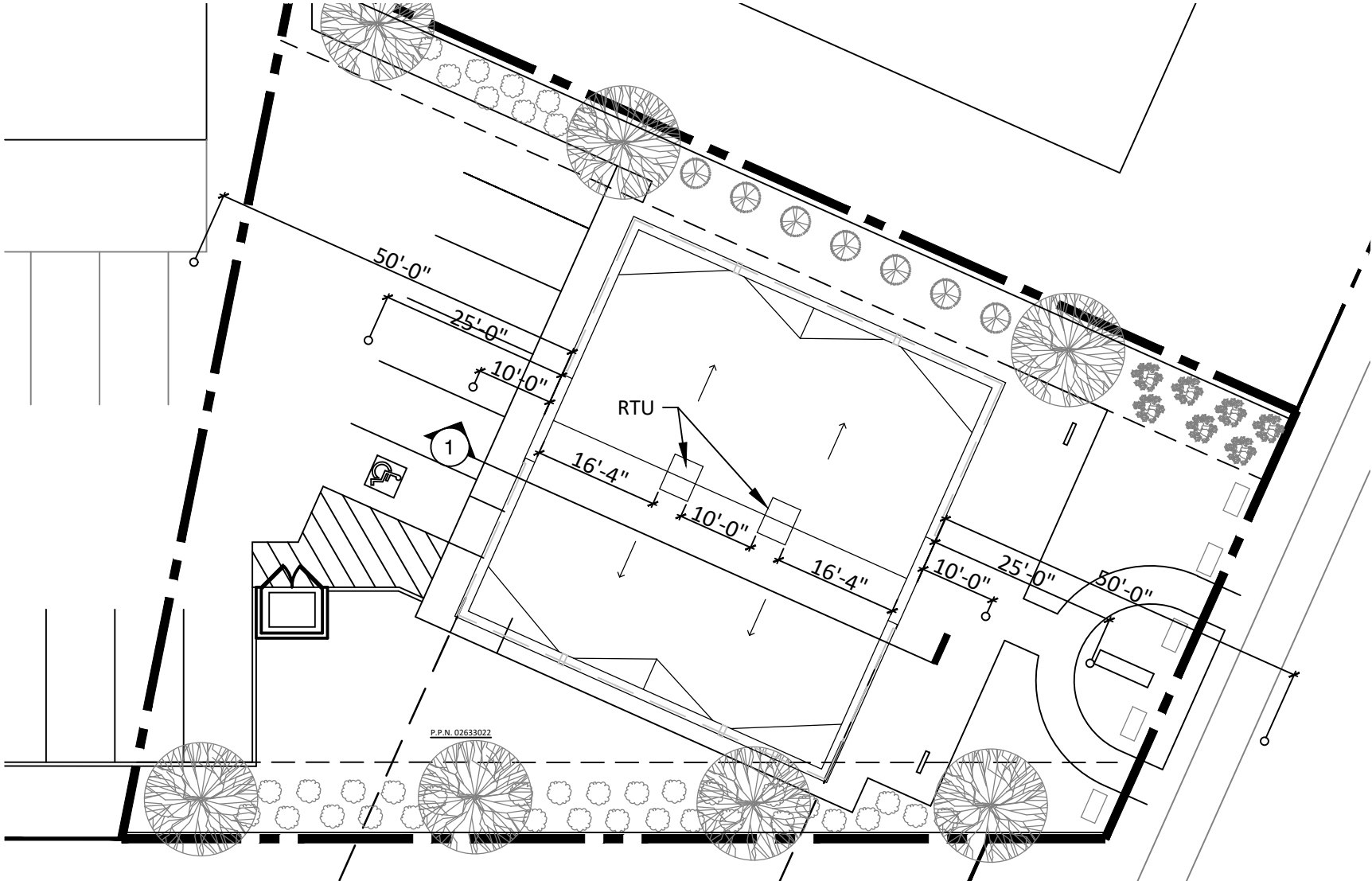


2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

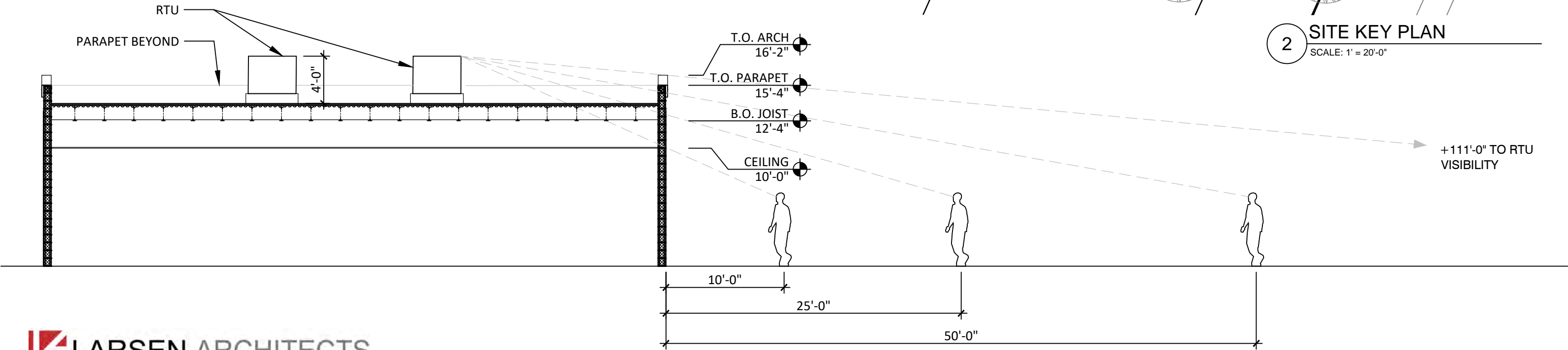


1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

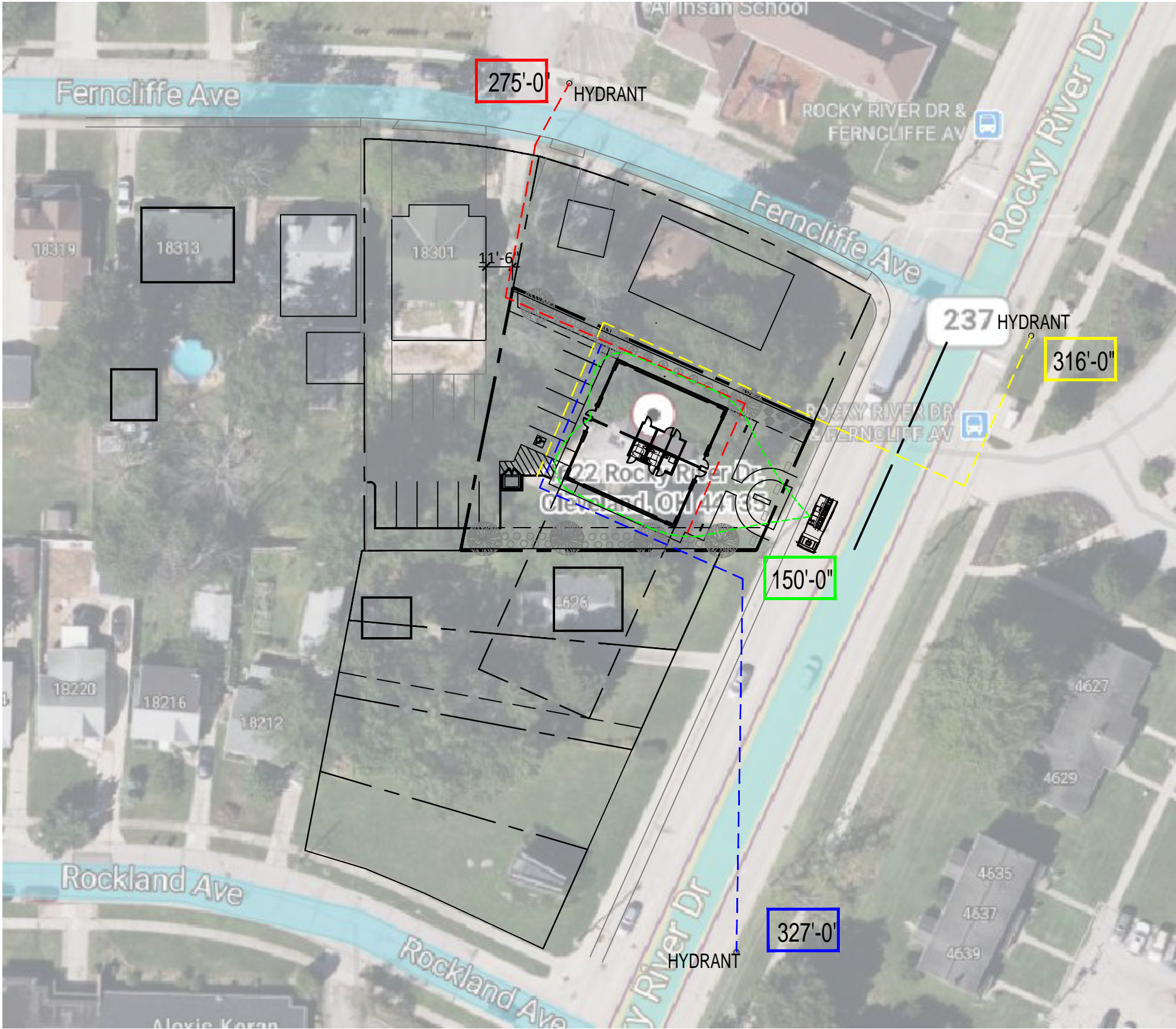




2 SITE KEY PLAN
SCALE: 1' = 20'-0"



1 SITE SECTION
SCALE: 1/8" = 1'-0"



Schedule

Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
	A		8	WDGE1 LED P2 40K 80CRI VF	WDGE1 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1	1978	1	15.0178	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	1.7 fc	8.5 fc	0.0 fc	N/A	N/A
PATIO	+	5.1 fc	8.0 fc	1.8 fc	4.4:1	2.8:1





WDGE1 LED

Architectural Wall Sconce



Catalog
Number

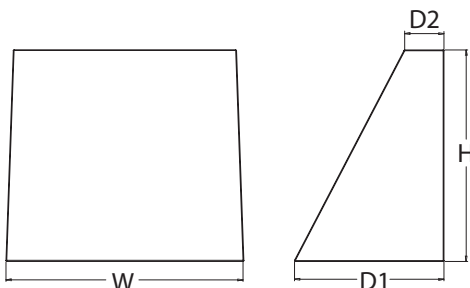
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
 (without options)



Introduction

The WDGE1 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
 *See ordering tree for details

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P0 P1 P2	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K ¹ 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347 ²	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ³ Shipped separately AWS 3/8inch Architectural wall spacer ⁴ PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available. ⁴

Options

E4WH Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)⁵
PE Photocell, Button Type⁶
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)⁷
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.
DSLE Dual Switching (1 Driver, 2 Light Engines)
CCE Coastal Construction⁴

Finish

DDBXD Dark bronze
DBLXD Black
DNAXD Natural aluminum
DWHXD White
DSSXD Sandstone
DDBTXD Textured dark bronze
DBLTXD Textured black
DNATXD Textured natural aluminum
DWHGXD Textured white
DSSTXD Textured sandstone



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE1 LED
 Rev. 04/02/25

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE1PBBW DDBXD U	WDGE1 surface-mounted back box (specify finish)

NOTES

- 1 50K not available in 90CRI.
- 2 347V not available with E4WH, DS, DSLE or PE.
- 3 Not qualified for DLC. Not available with E4WH.
- 4 For PBBW and AWS with CCE option, require an RFA.
- 5 E4WH not available with PE or DS.
- 6 PE not available with DS.
- 7 DS is not available with P0.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	VF	693	99	0	0	0	718	103	0	0	0	739	106	0	0	0	759	108	0	0	0	764	109	0	0	0
		VW	694	99	0	0	0	720	103	0	0	0	740	106	0	0	0	760	109	0	0	0	766	109	0	0	0
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P0	7W	0.060	0.035	0.030	0.026	--
	9W	--	--	--	--	0.026
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



COMMERCIAL OUTDOOR

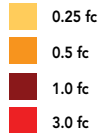
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WDGE1 LED
Rev. 04/02/25

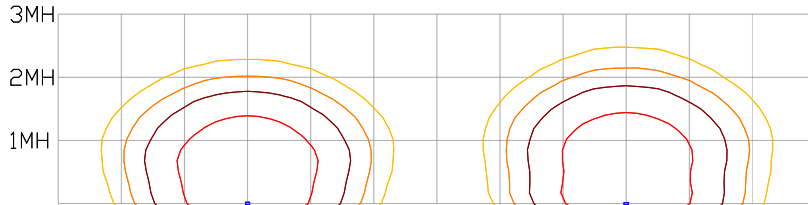
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage.
Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 8ft
Grid = 8ft x 8ft



WDGE1 LED P2 40K 80CRI VW

WDGE1 LED P2 40K 80CRI VF

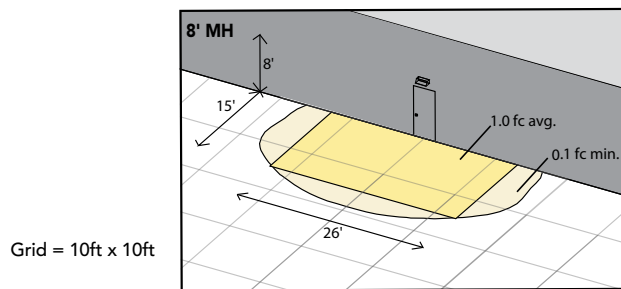
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

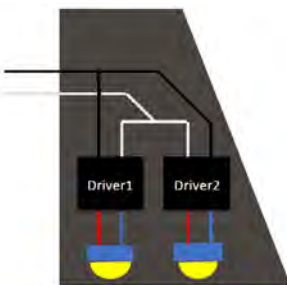


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark.

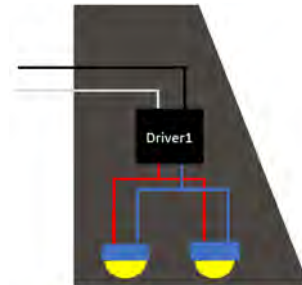
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Dual Switching Light Engine (DSLE) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with one driver and two light engines. These work completely independent to each other so that a failure of either light engine does not cause the whole luminaire to go dark.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9





E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

GOVERNMENT PROCUREMENT

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

FW2025-09 – Rocky River Drive Plaza

August 15, 2025

Design Review Advisory Committee:

FWDRAC recommended schematic approval with conditions on 8/6/25:

- Investigate a more durable material at the base of the building near the entrance
- Space bike racks at least three feet from edge of sidewalks
- Investigate shrinking concrete pad in parking lot to allow for more permeable space between parking lot and building
- Study parapet height from roof and potentially raising it

City Planning Staff:

Staff recommends approval and giving the applicant the opportunity to return only to Far West Design Review for Final Approval.

Cleveland City Planning Commission

Euclid Corridor Buckeye Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

Euclid Corridor Buckeye Design Review

EC2024-025 – Circle Square, East Stokes Block, north portion

August 15, 2025

Project Address: Stokes Blvd and Chester Ave

Type: New Construction – Mixed Use

Project Representative: Steve Rubin & Nolan Sit

Approval: Schematic

Ward 9: Council Member Conwell

SPA: University

**CDC: Fairfax Renaissance
& Famicos Foundation**

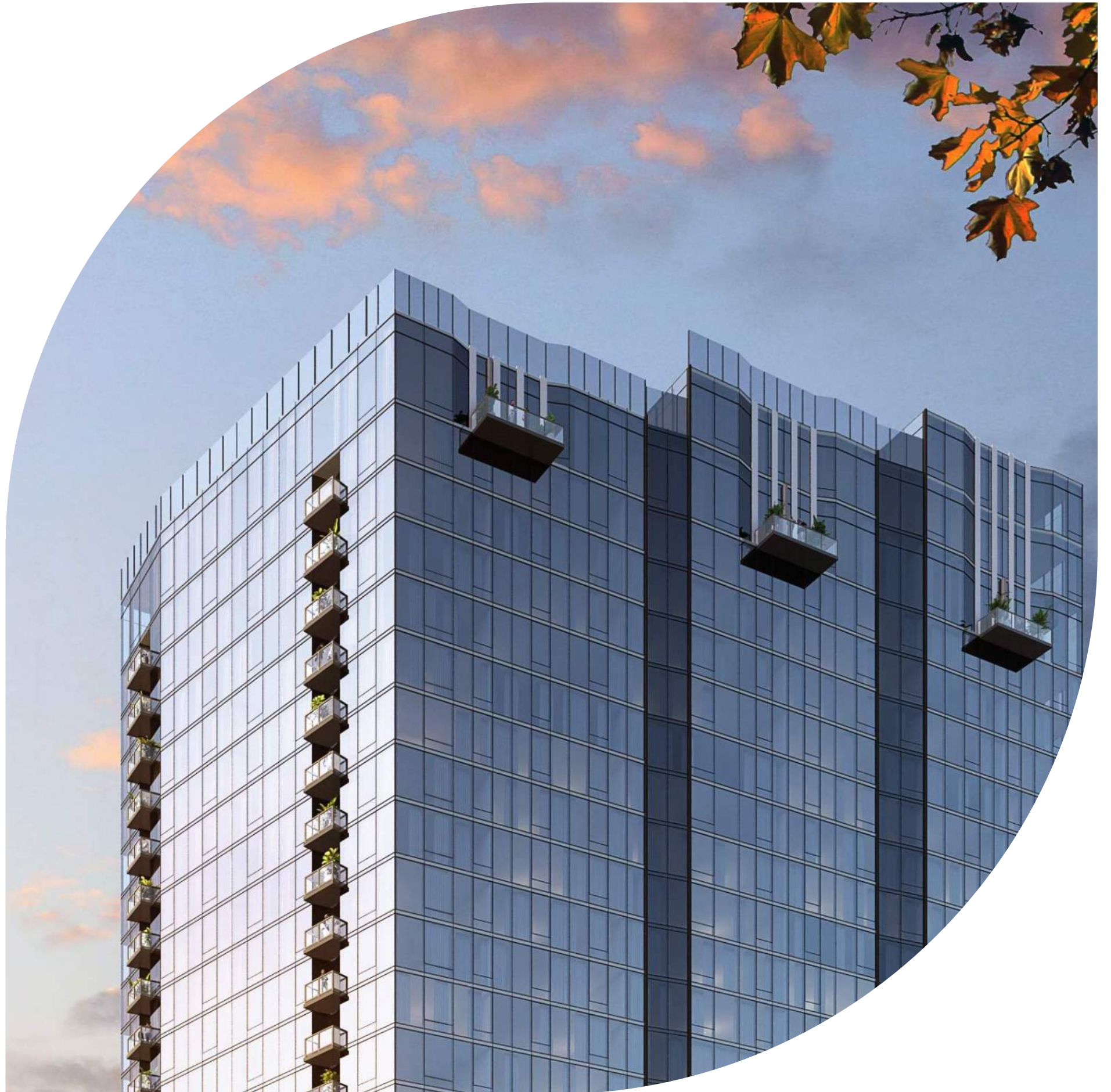
CIRCLE SQUARE

East Stokes Block

NORTH PORTION

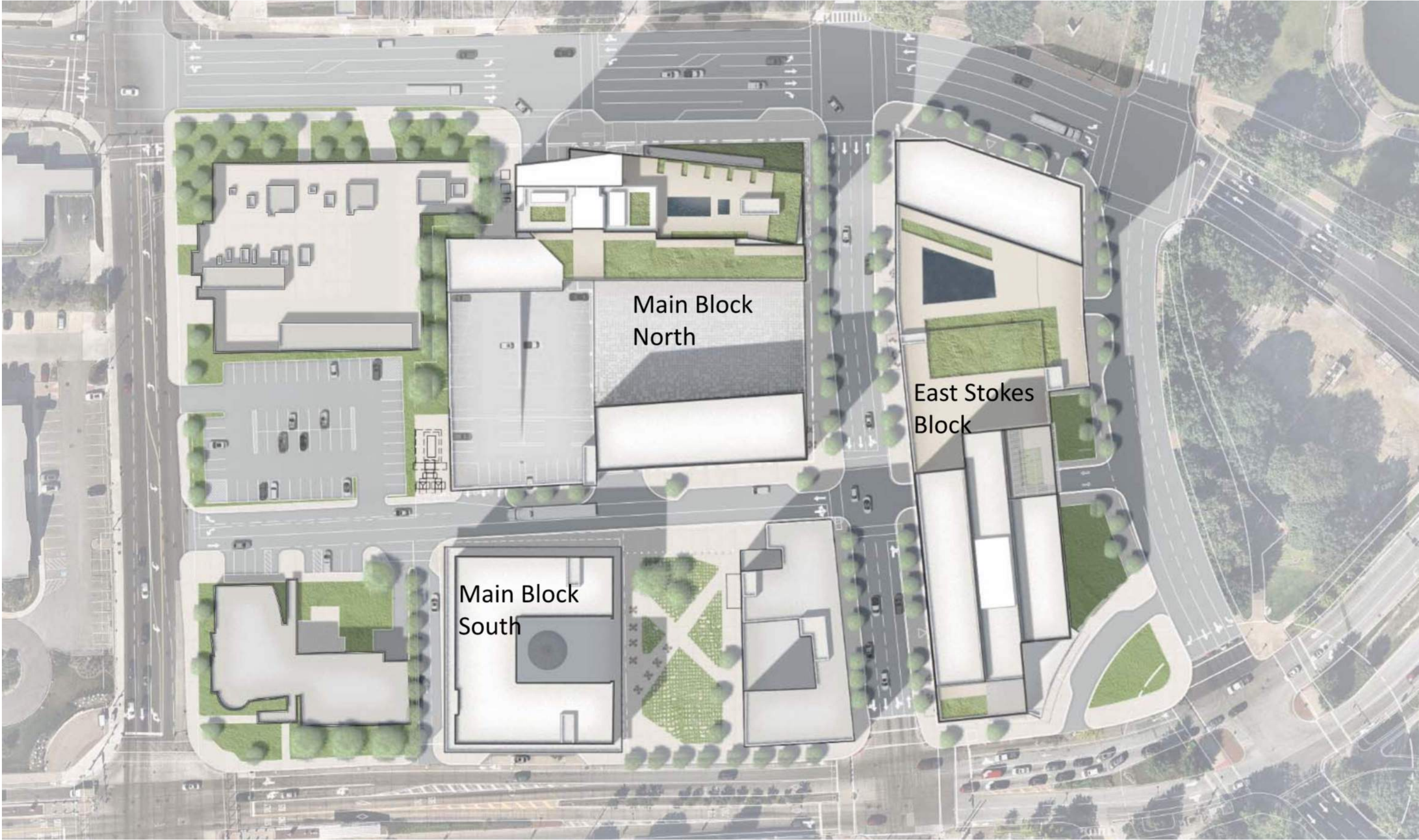
PCP Voyager
July 31, 2025

SCHEMATIC DESIGN APPROVAL



LAST YEAR

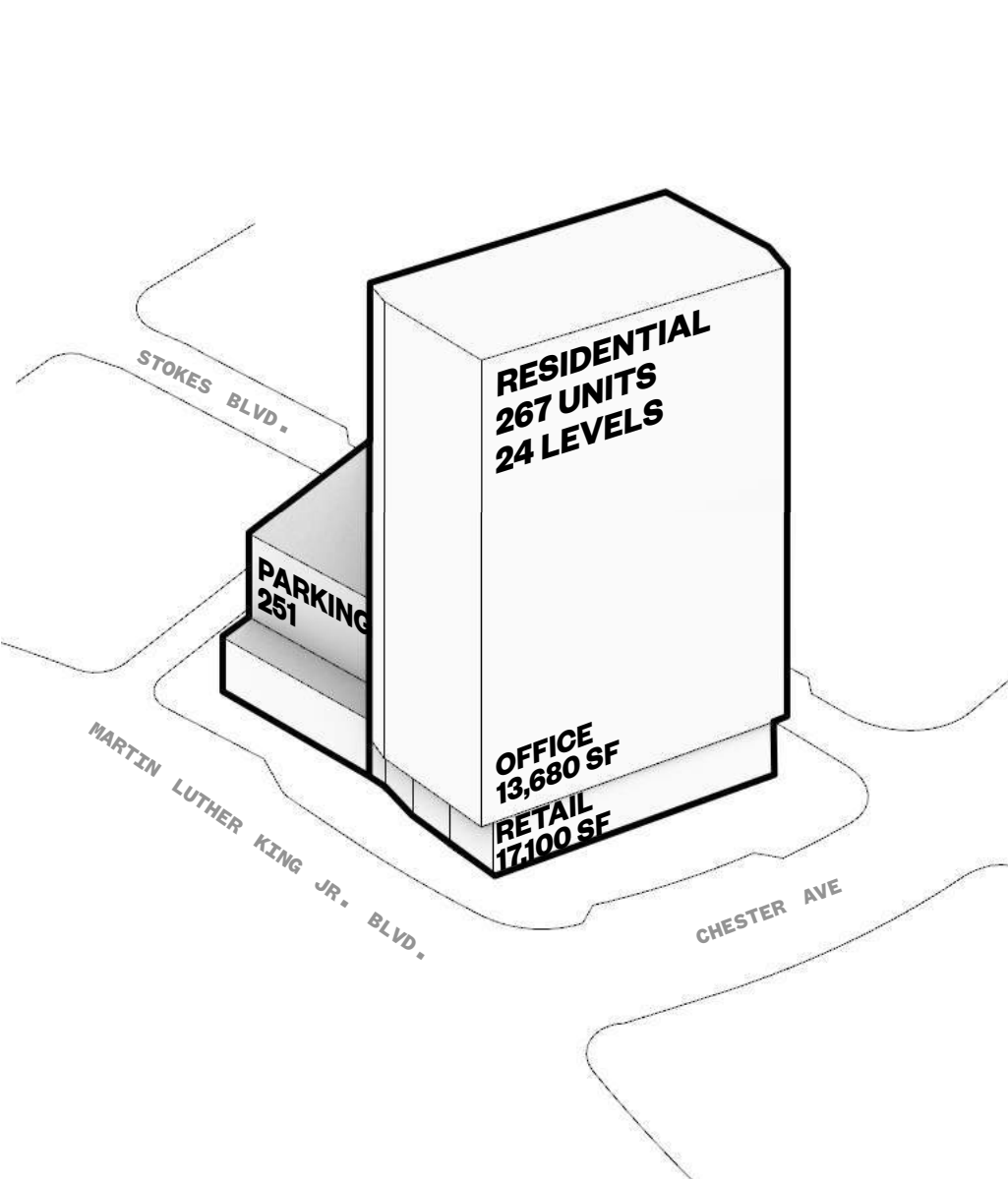
MASTER PLAN



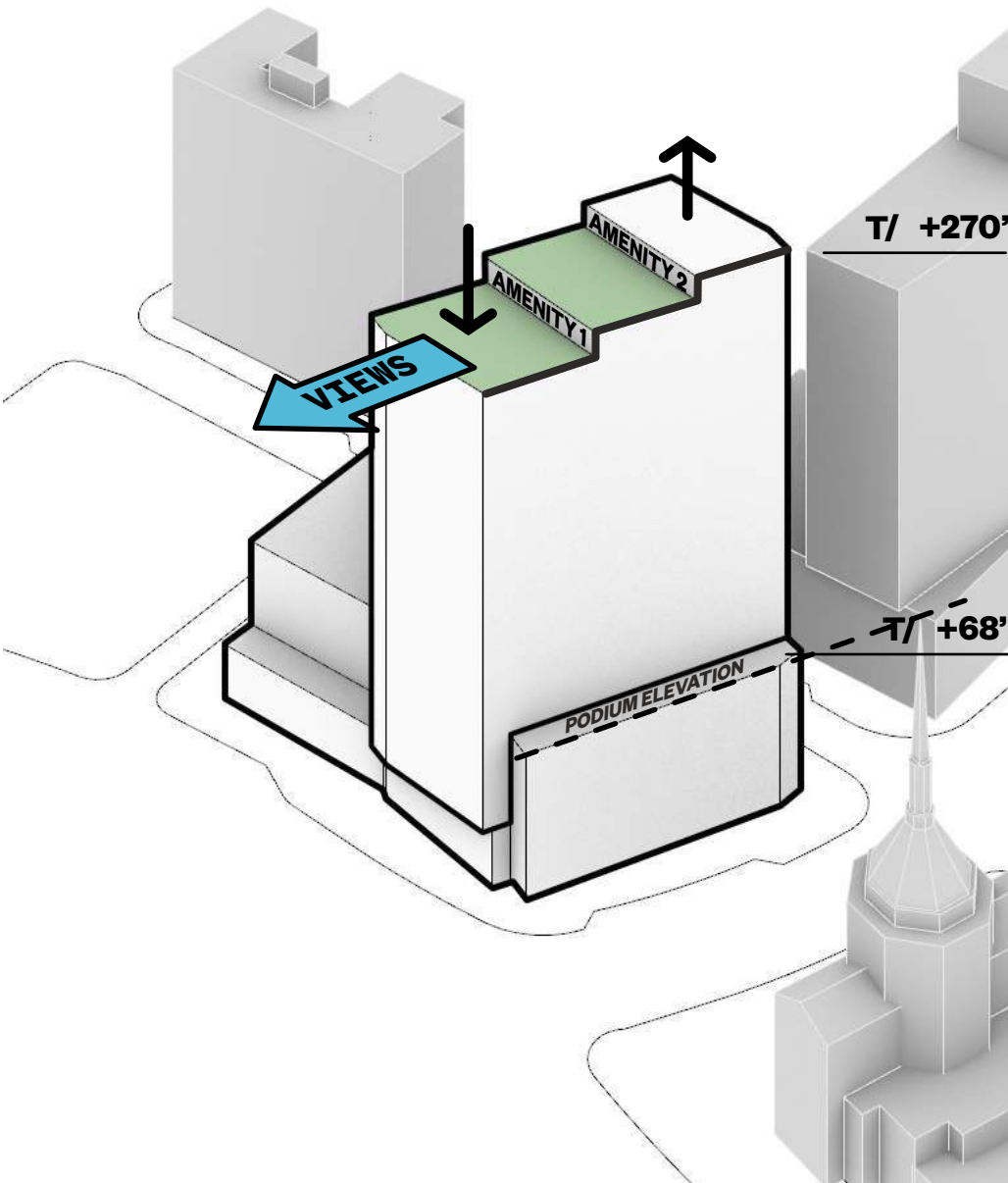
MASTER PLAN



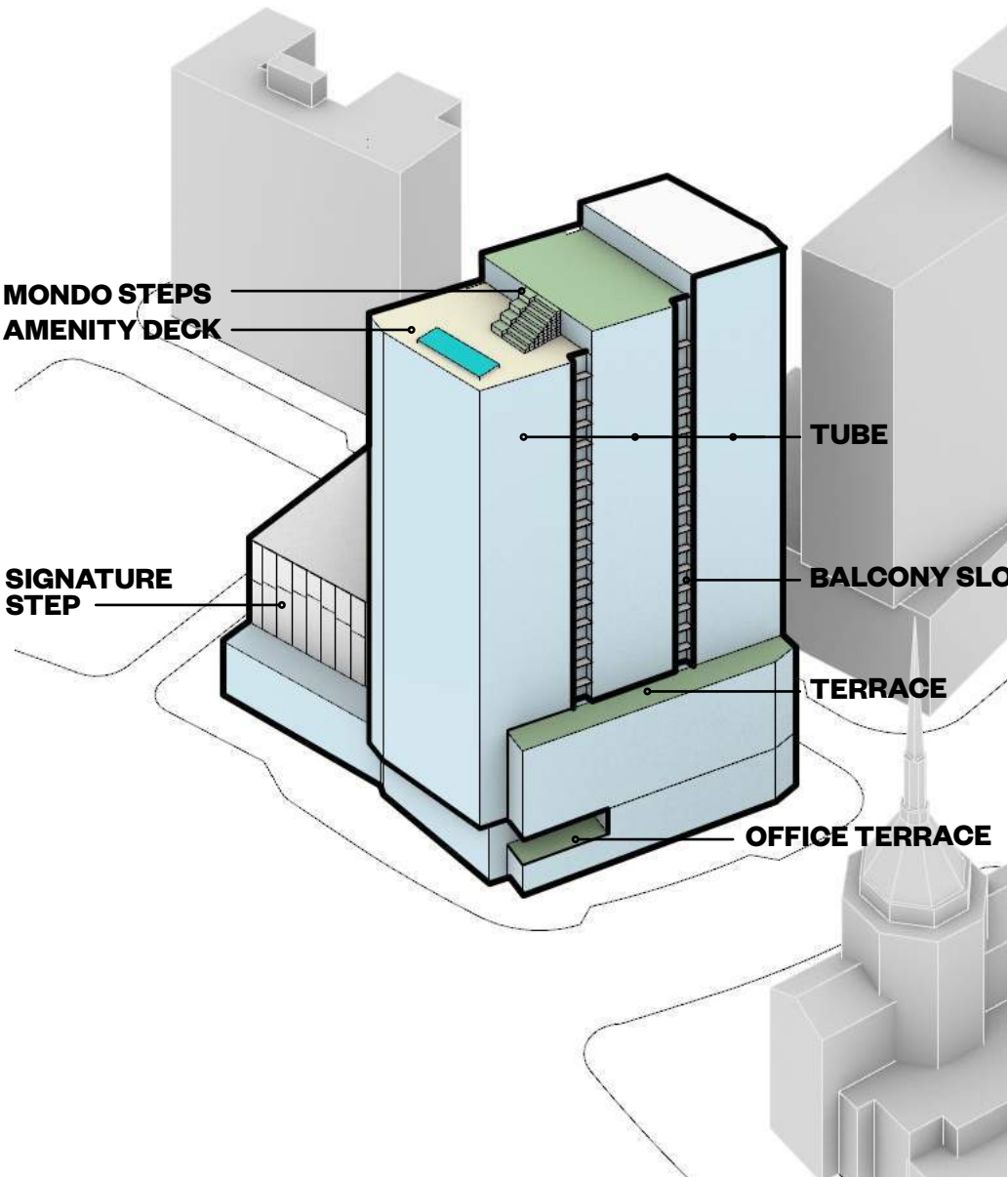
SCHEMATIC DESIGN APPROVED MASSING



PROGRAM



STEP DOWN TOWARDS THE VIEW



DEFINING THE MASS

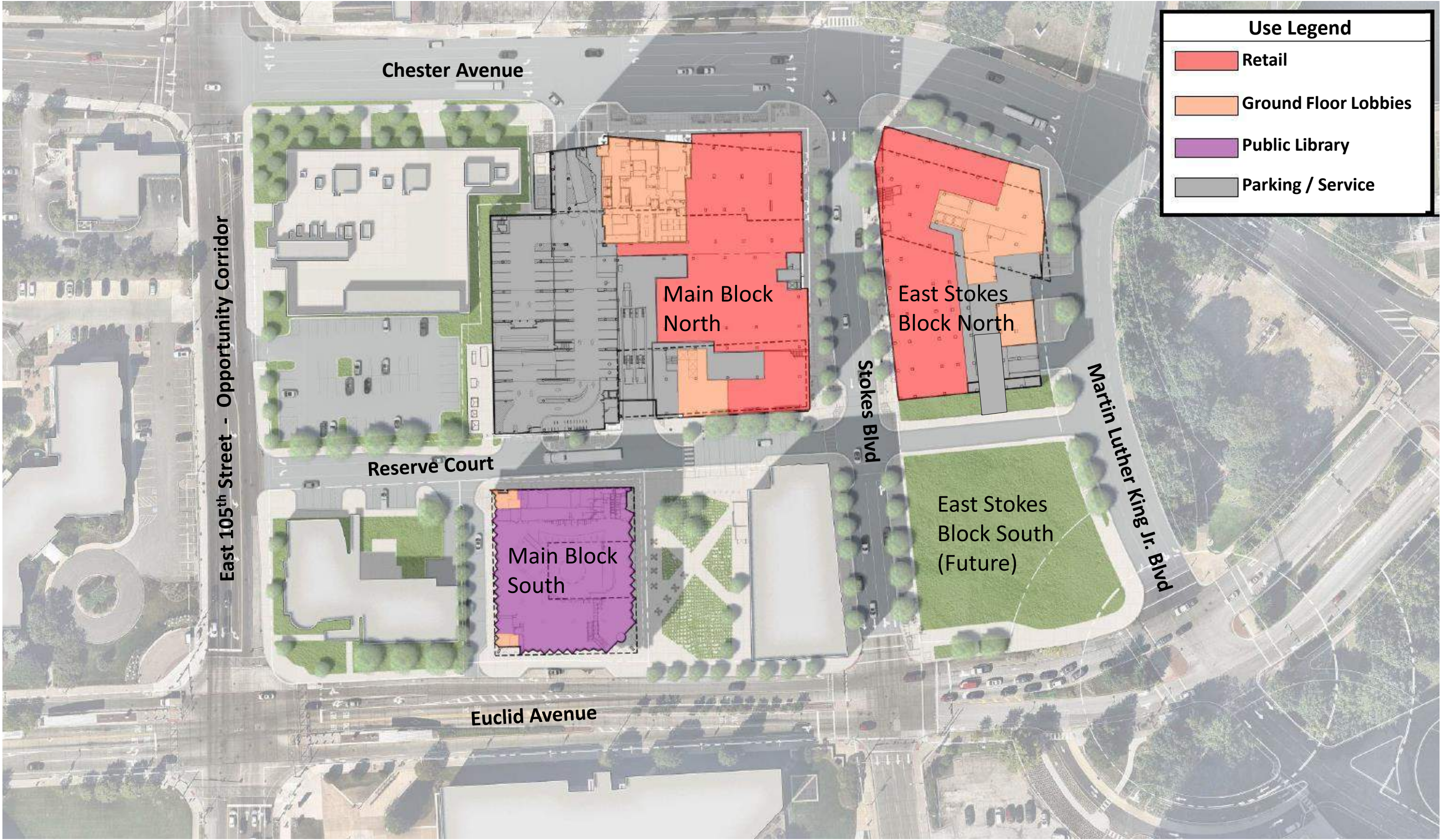
SCHEMATIC DESIGN APPROVED TOWER



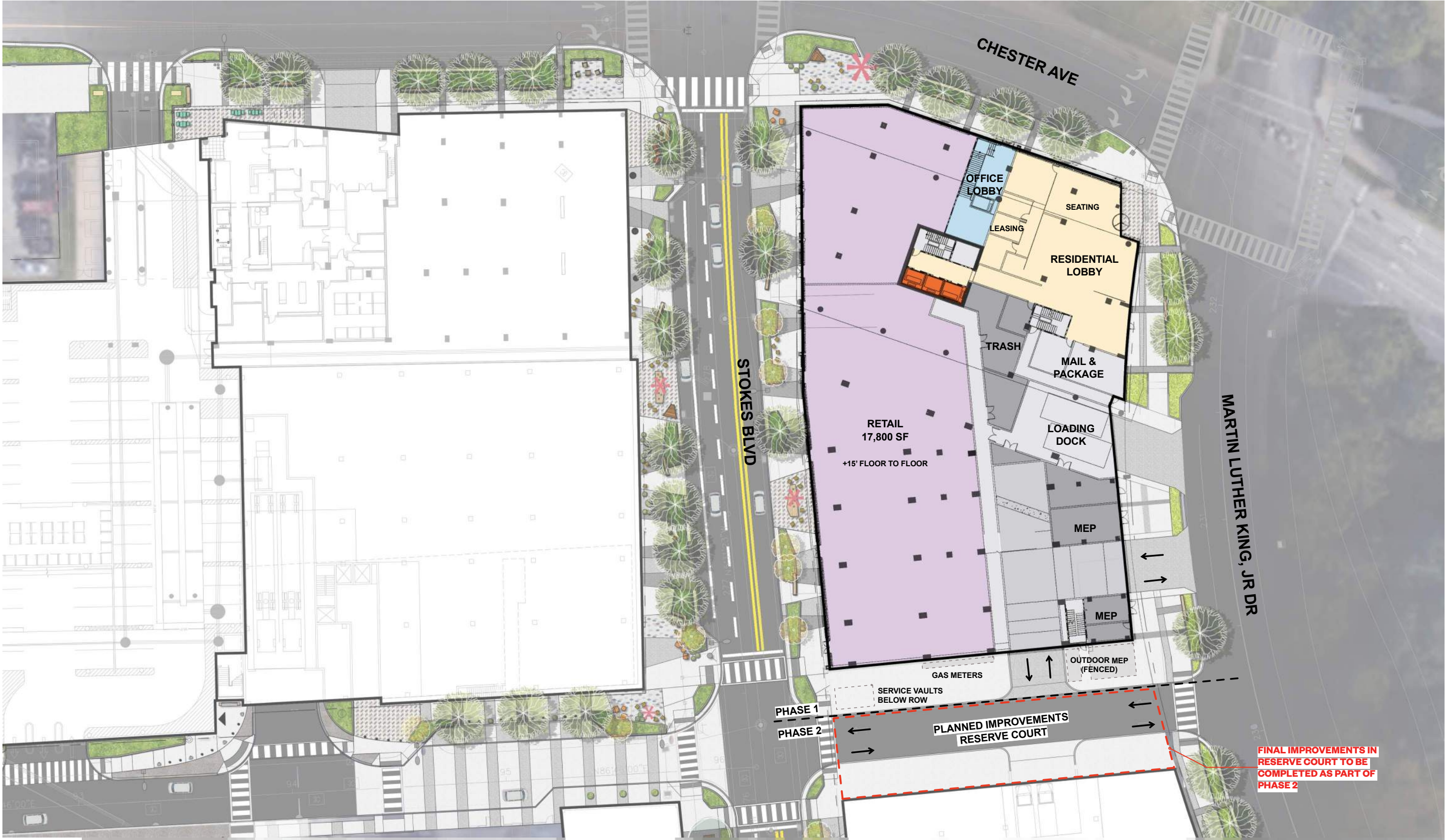
SCHEMATIC DESIGN APPROVED TOWER TOP



MASTERPLAN



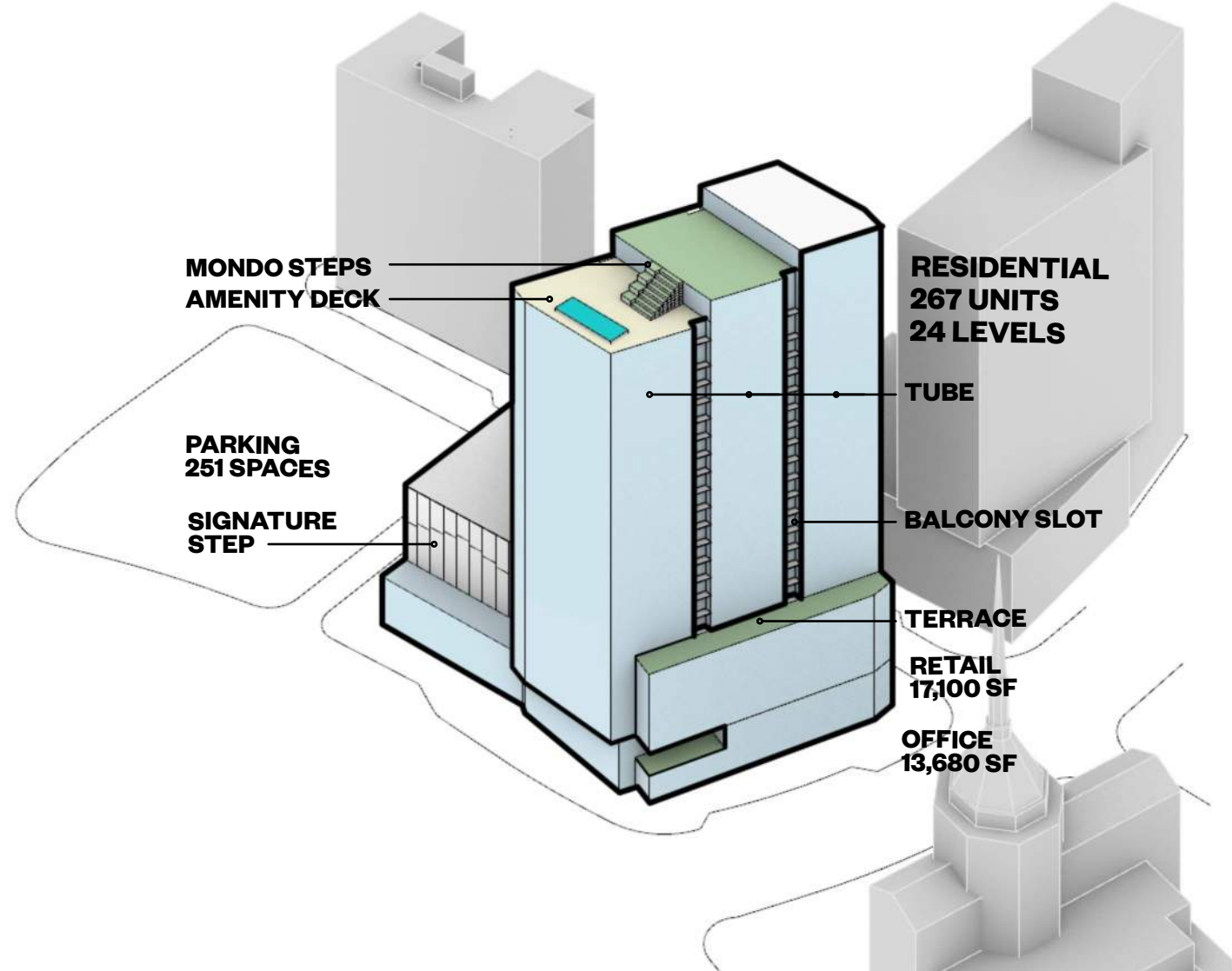
SCHEMATIC DESIGN APPROVED SITE PLAN



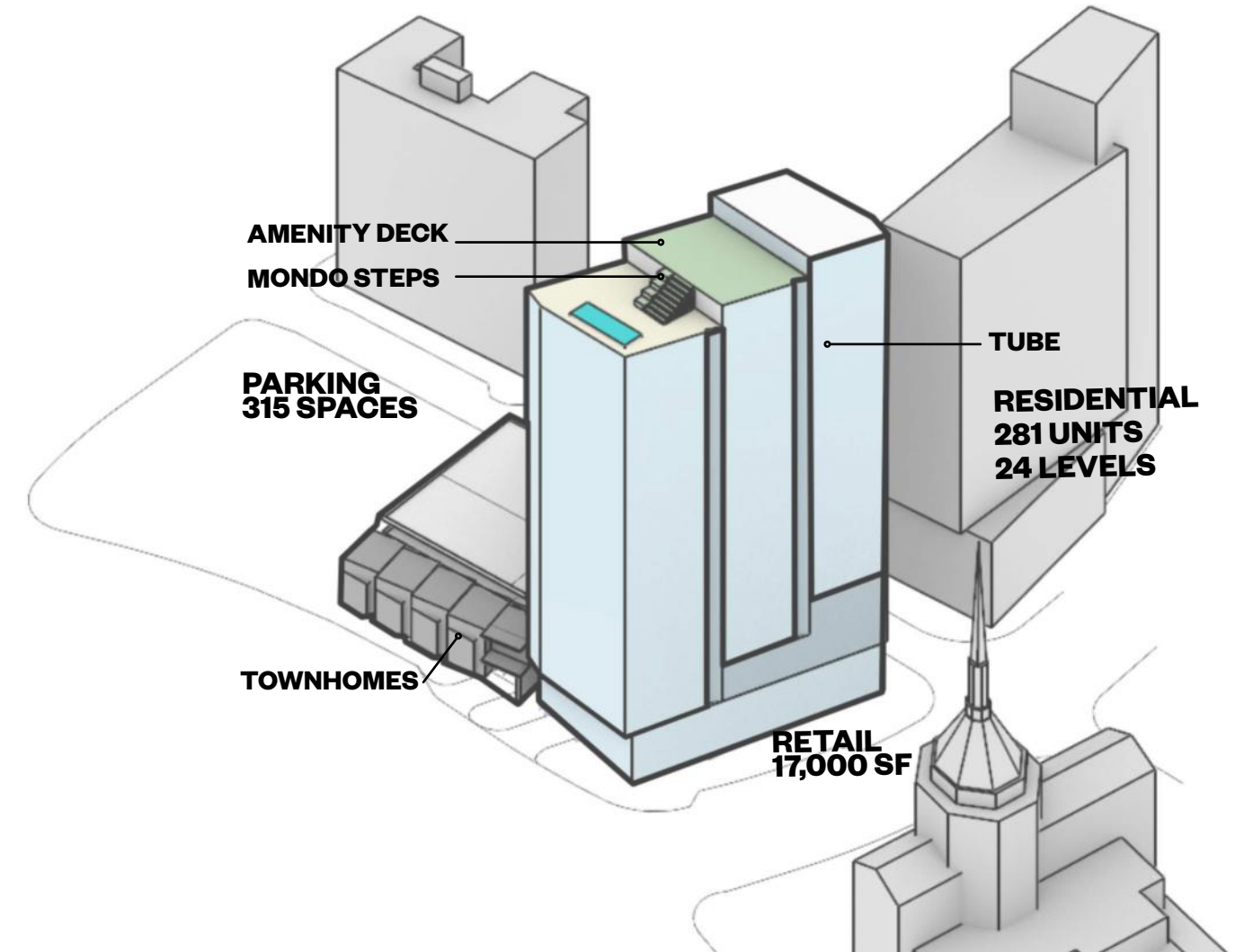
PROPOSED

REFINEMENT

Massing



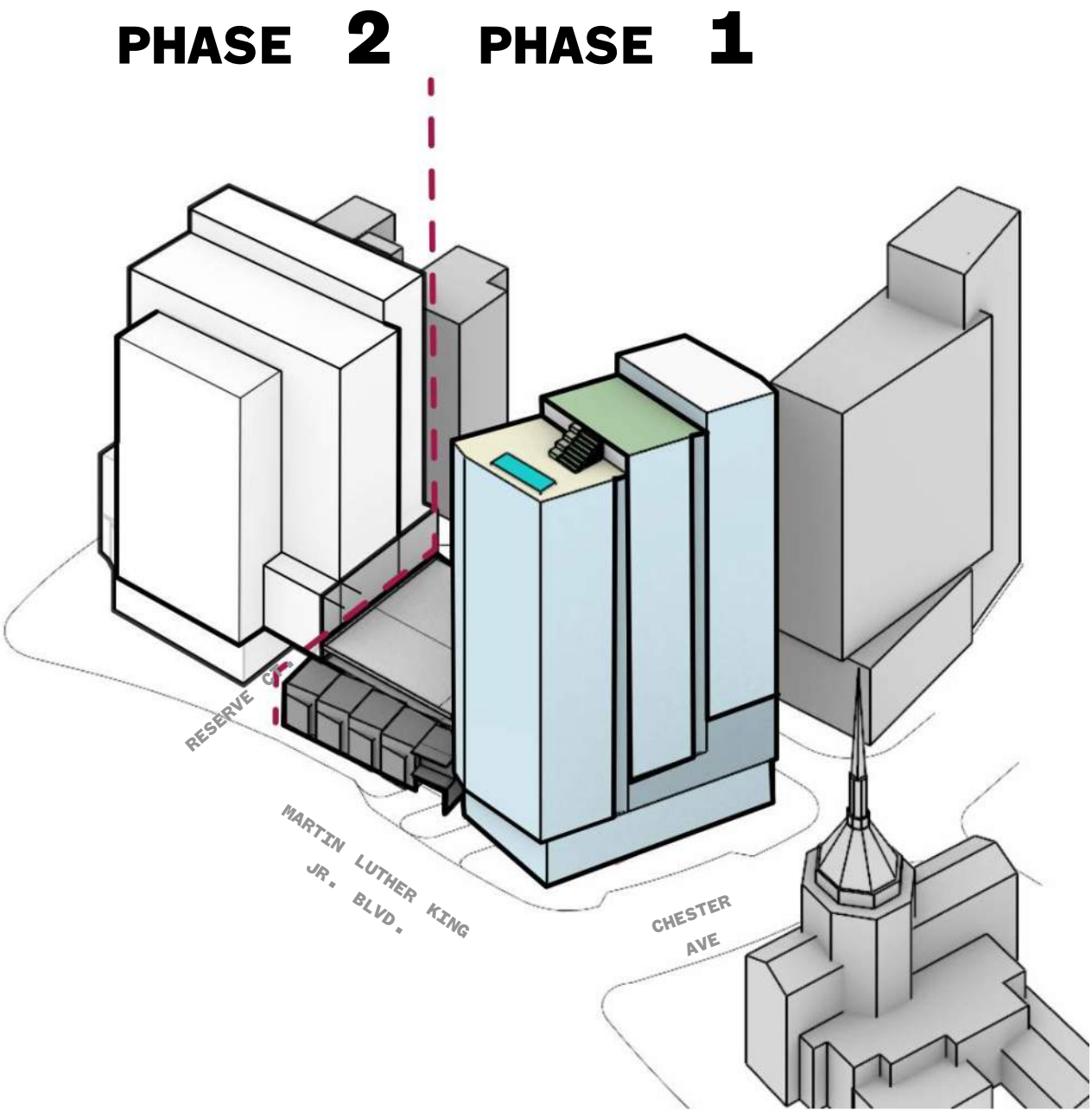
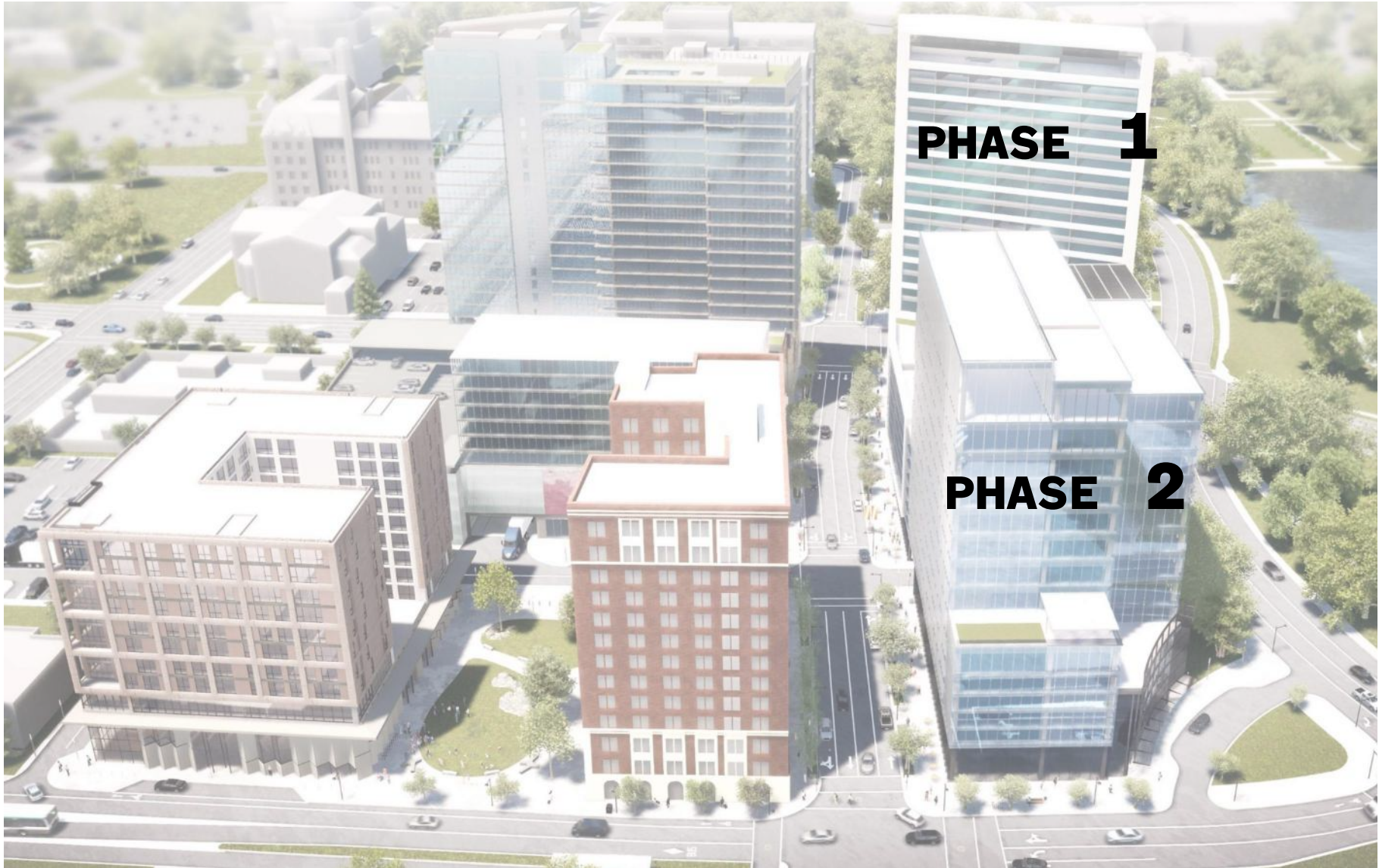
Schematic Design Approved



Proposed

- Podium removed. Refinement of proportions
- Eliminated Reserve Court, elongated and reduced height of garage
- Tower shifted north
- Residential units ILO office at L2
- Townhomes added along MLK to screen parking garage

PHASING



PROPOSED

View looking Southwest from Wage Lagoon



PROPOSED

Tower Top



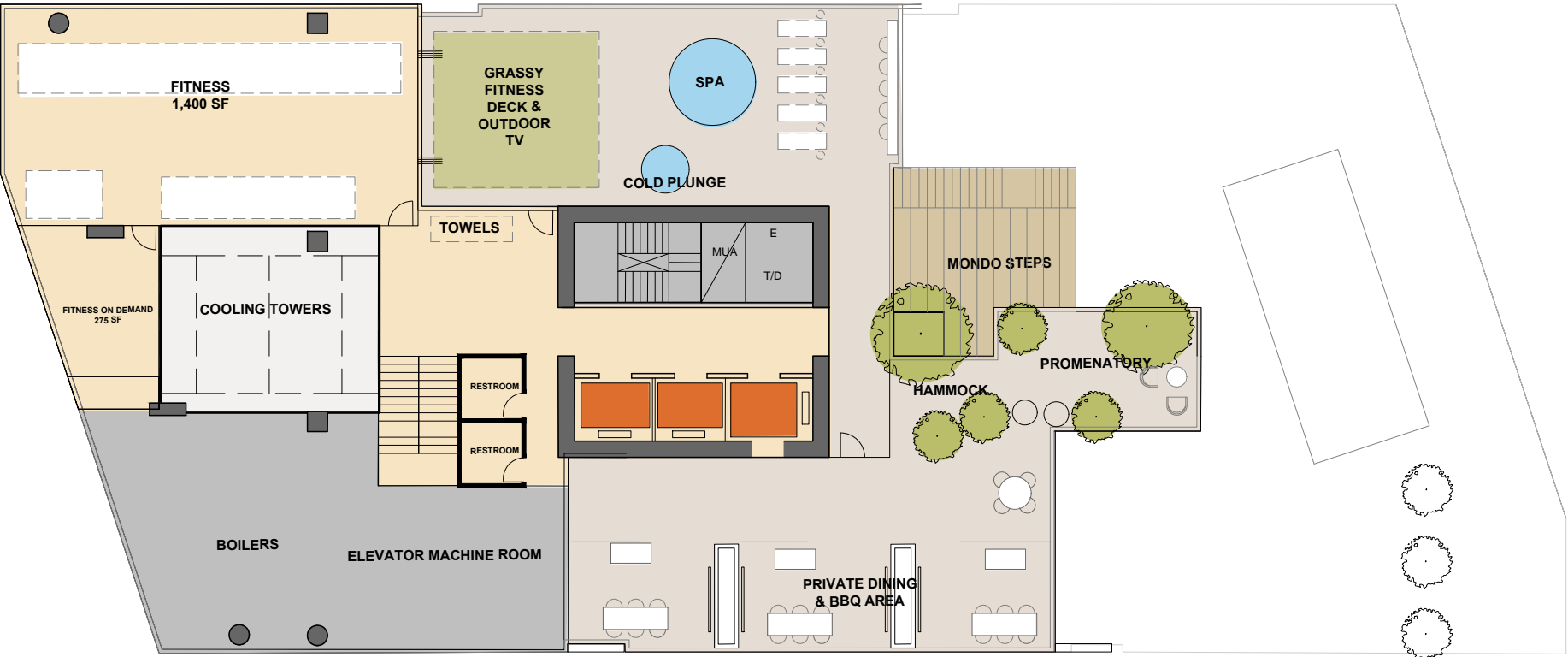
PROPOSED
Amenity Levels



AMENITY

Levels 23 and 24

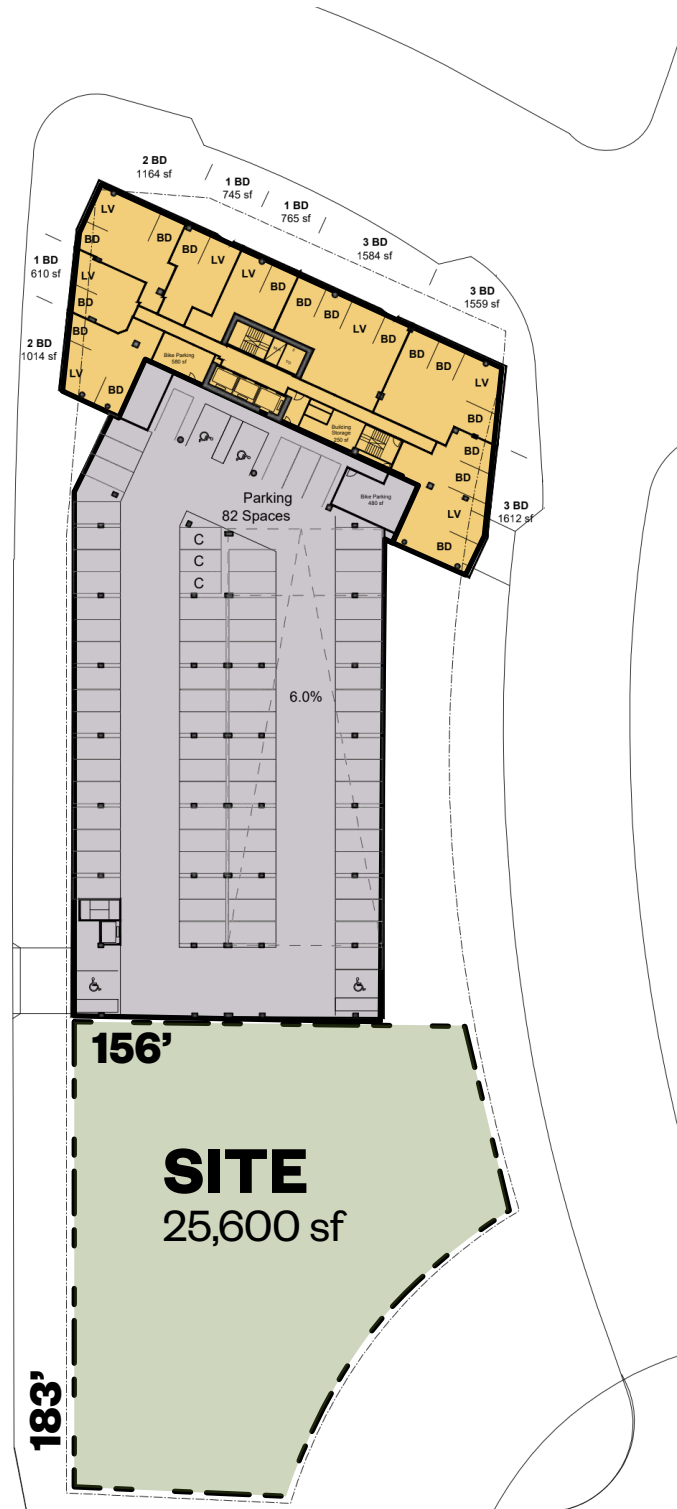
Amenity 2



Amenity 1



SECTION



SITE

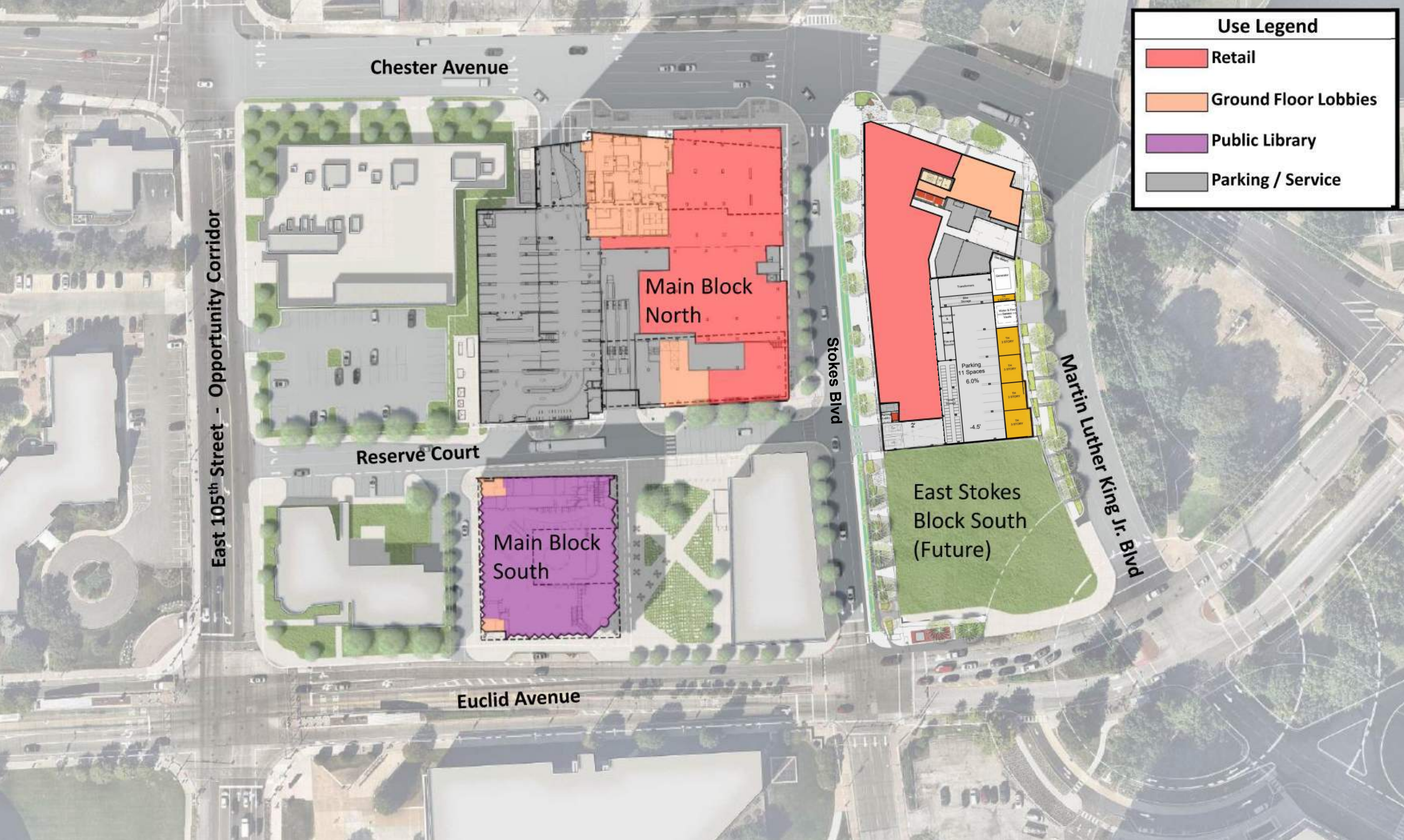
SECTION



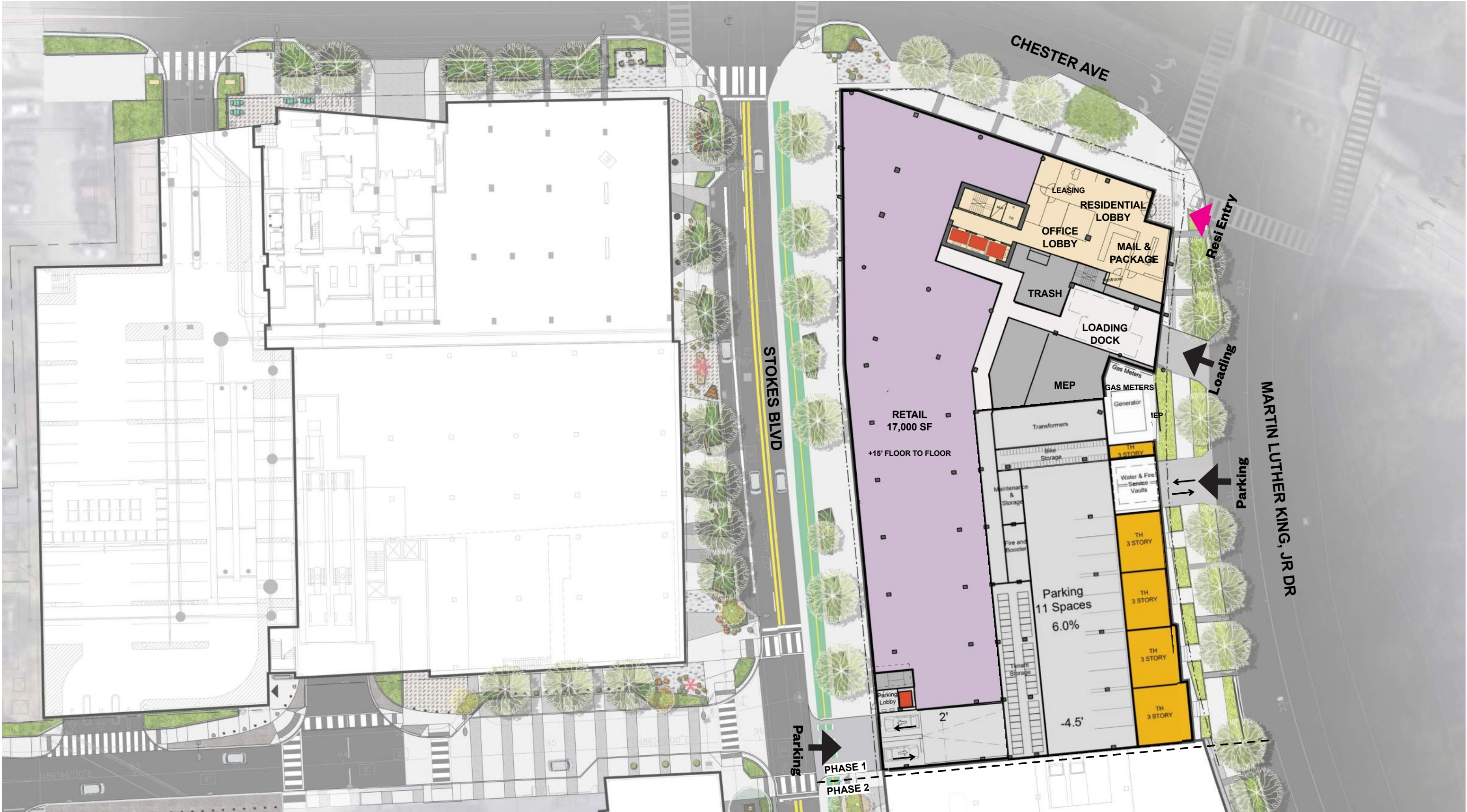
TIER 1
1BDs, 2BDs & 3BDs
590 -1600 sf



UPDATED MASTERPLAN



UPDATED SITE PLAN



LANDSCAPE & STREETSCAPE PLAN



AMENITIES AND PLANTINGS FROM
CIRCLE SQUARE NEIGHBORHOOD
STREETSCAPE DESIGN
(PRELIMINARILY APPROVED)



STREETSCAPE FURNISHING AND SITE AMENITIES



VIEW LOOKING SOUTH FROM CHESTER & STOKES
(IMAGE FROM CIRCLE SQUARE MASTER PLAN)



WALKING NORTH ON STOKES WITH ACTIVE STREET LIFE
(IMAGE FROM CIRCLE SQUARE MASTER PLAN)



VIEW LOOKING SOUTH ALONG STOKES

STREET PERSPECTIVE

View Looking South along Chester



STREET PERSPECTIVE

View Looking Southeast at Stokes and Chester



STREET PERSPECTIVE

View Looking West along MLK



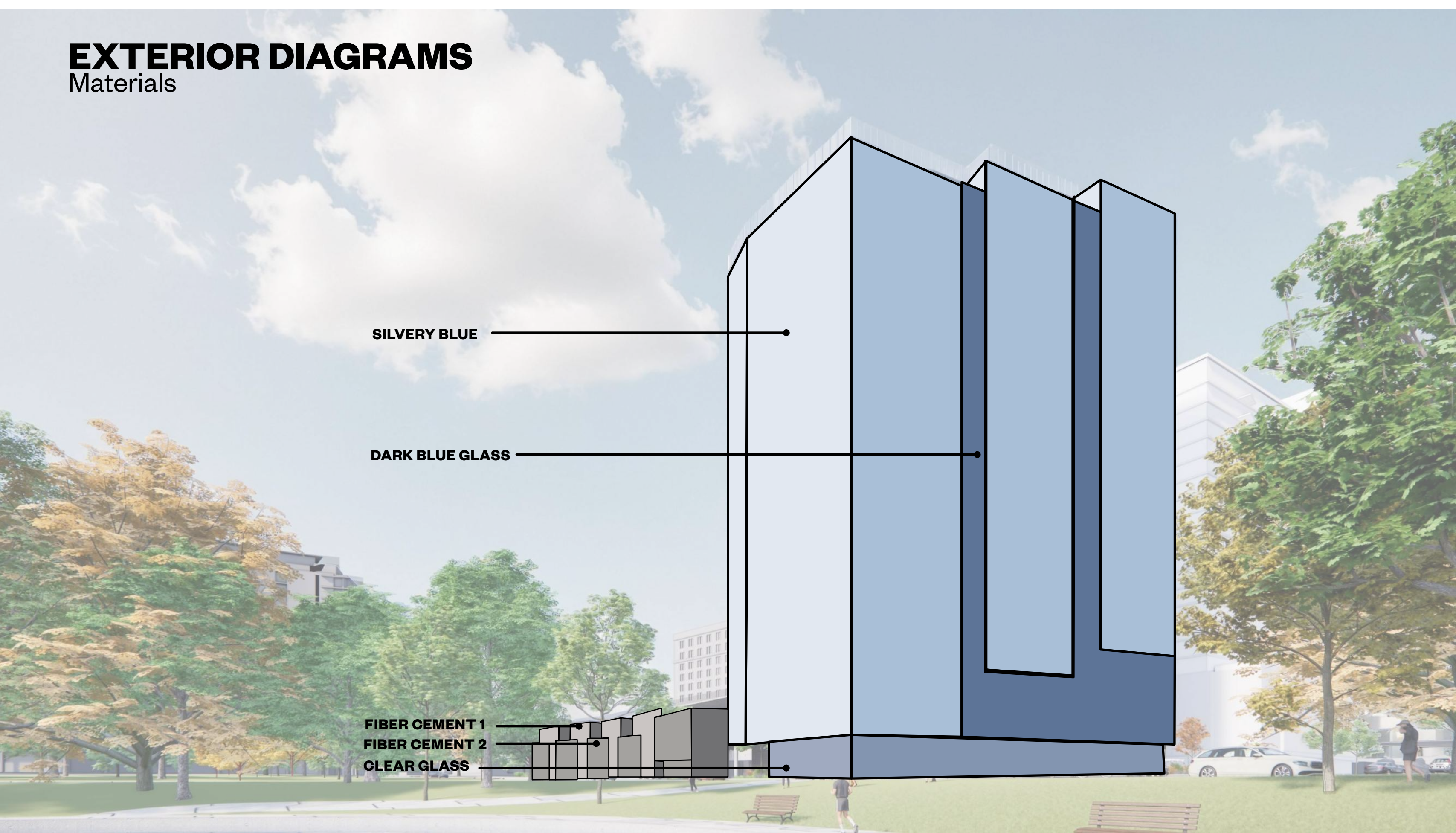
PHASING

View Looking West along MLK



EXTERIOR DIAGRAMS

Materials



SILVERY BLUE

DARK BLUE GLASS

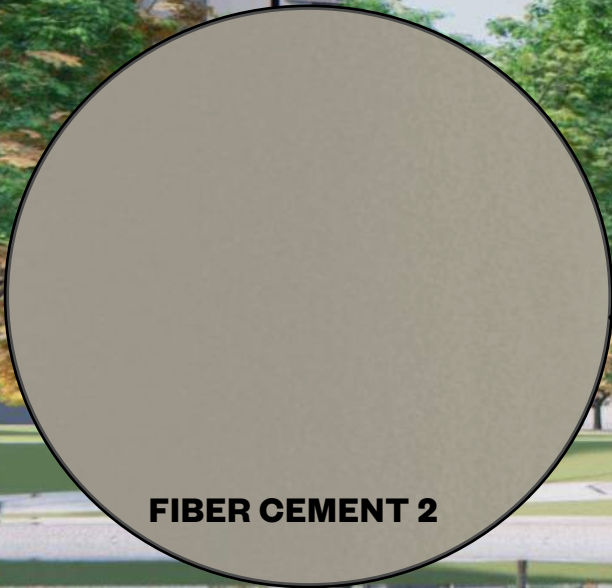
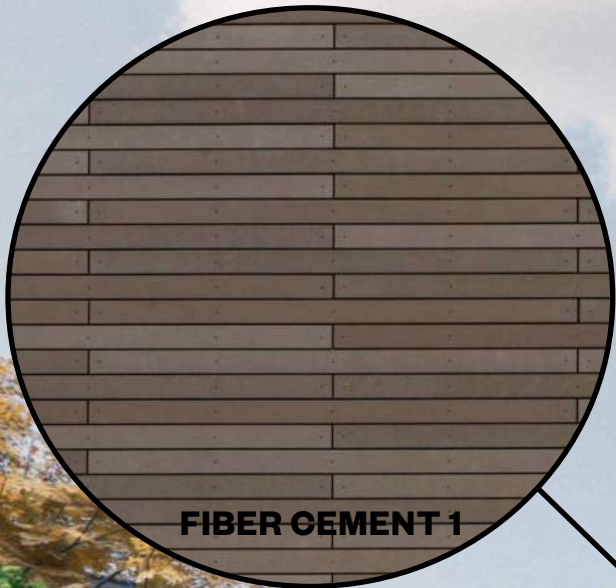
FIBER CEMENT 1

FIBER CEMENT 2

CLEAR GLASS

MATERIALS

Glass & Fiber Cement



ARCHITECTURAL GLASS 1

Silvery Blue VRE1-54

VIRACON OR SIMILAR
VRE1-54

VISIBLE LIGHT TRANSMITTANCE	43%
EXTERIOR REFLECTANCE	34%
INTERIOR REFLECTANCE	15%
SOLAR HEAT GAIN COEFFICIENT	.29



PARAGON CHICAGO



TRANSPARENT WITH SUN



REFLECTIVE WITH SKY

ARCHITECTURAL GLASS 2

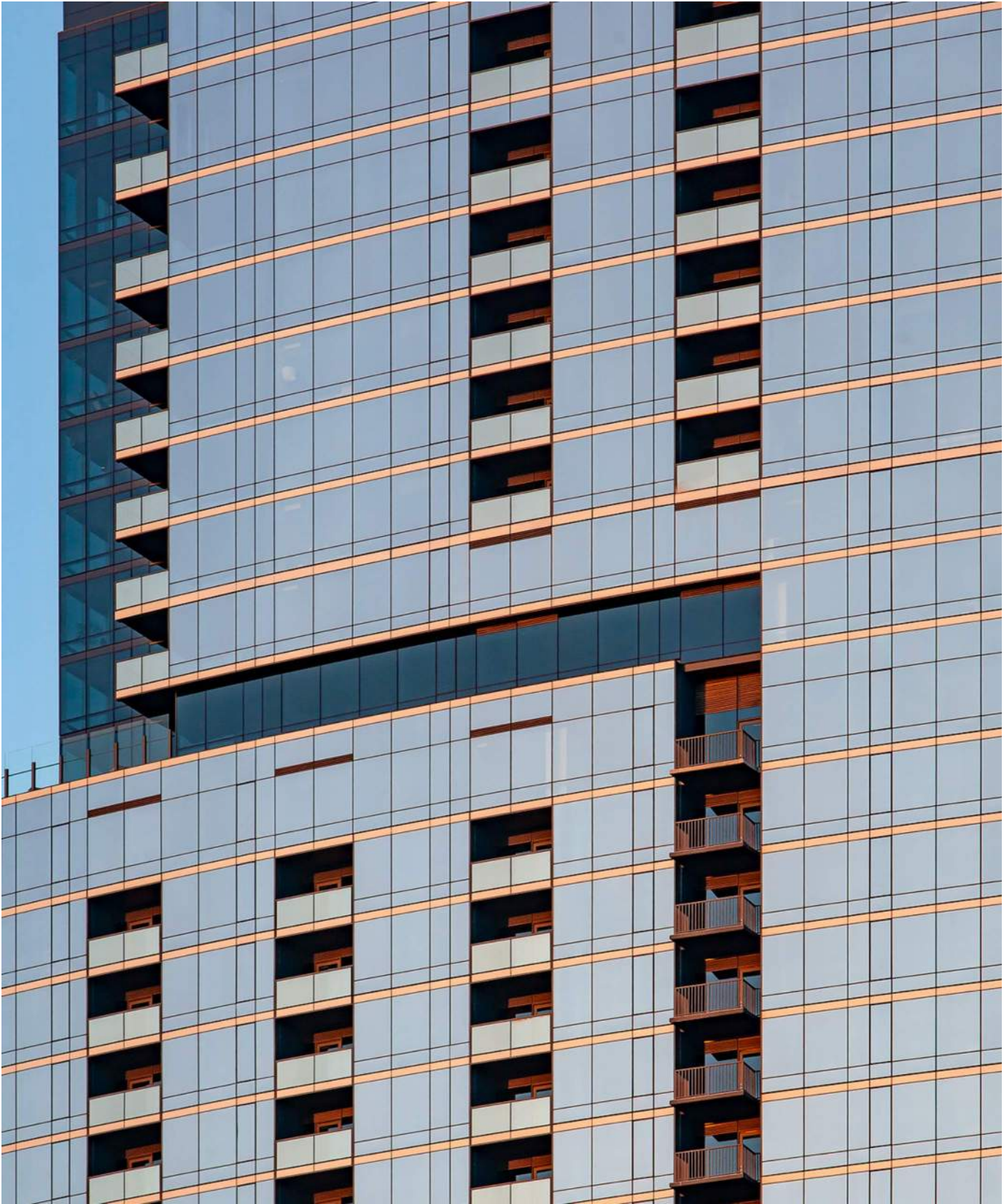
Dark Blue VUE 26-50

VIRACON OR SIMILAR
VUE 26-50

VISIBLE LIGHT TRANSMITTANCE	31%
EXTERIOR REFLECTANCE	7%
INTERIOR REFLECTANCE	11%
SOLAR HEAT GAIN COEFFICIENT	.2



414 LIGHT STREET BALTIMORE



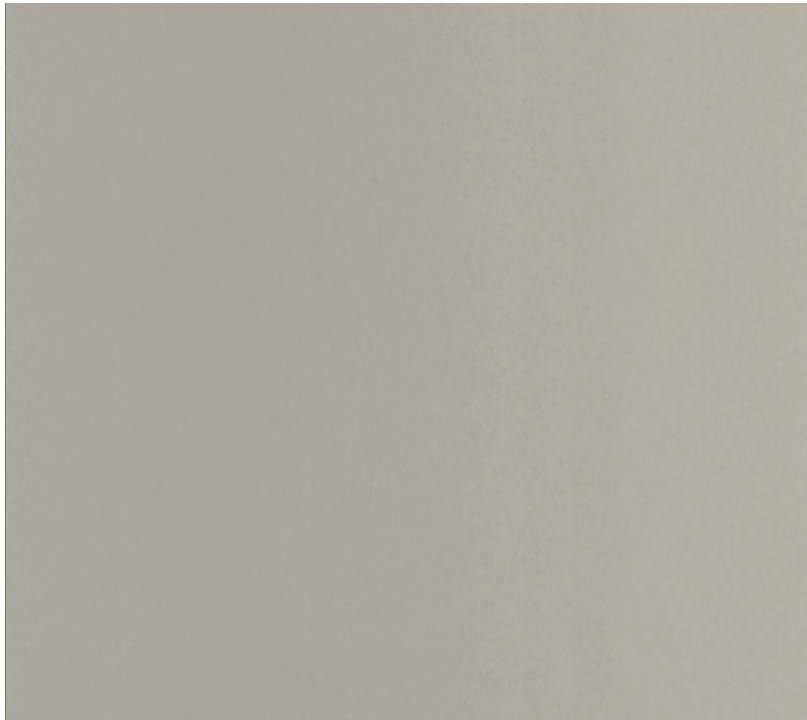
ACCENT GLASS

FIBER CEMENT

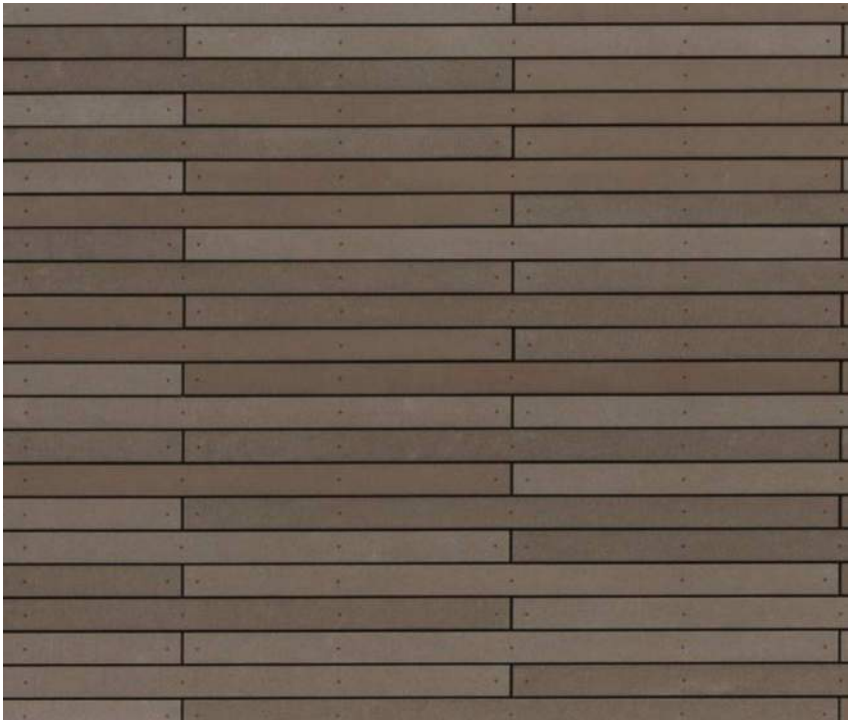
Gray and Texture



TOWNHOME ELEVATION



FIBER CEMENT TAUPE



FIBER CEMENT MIX PALETTE



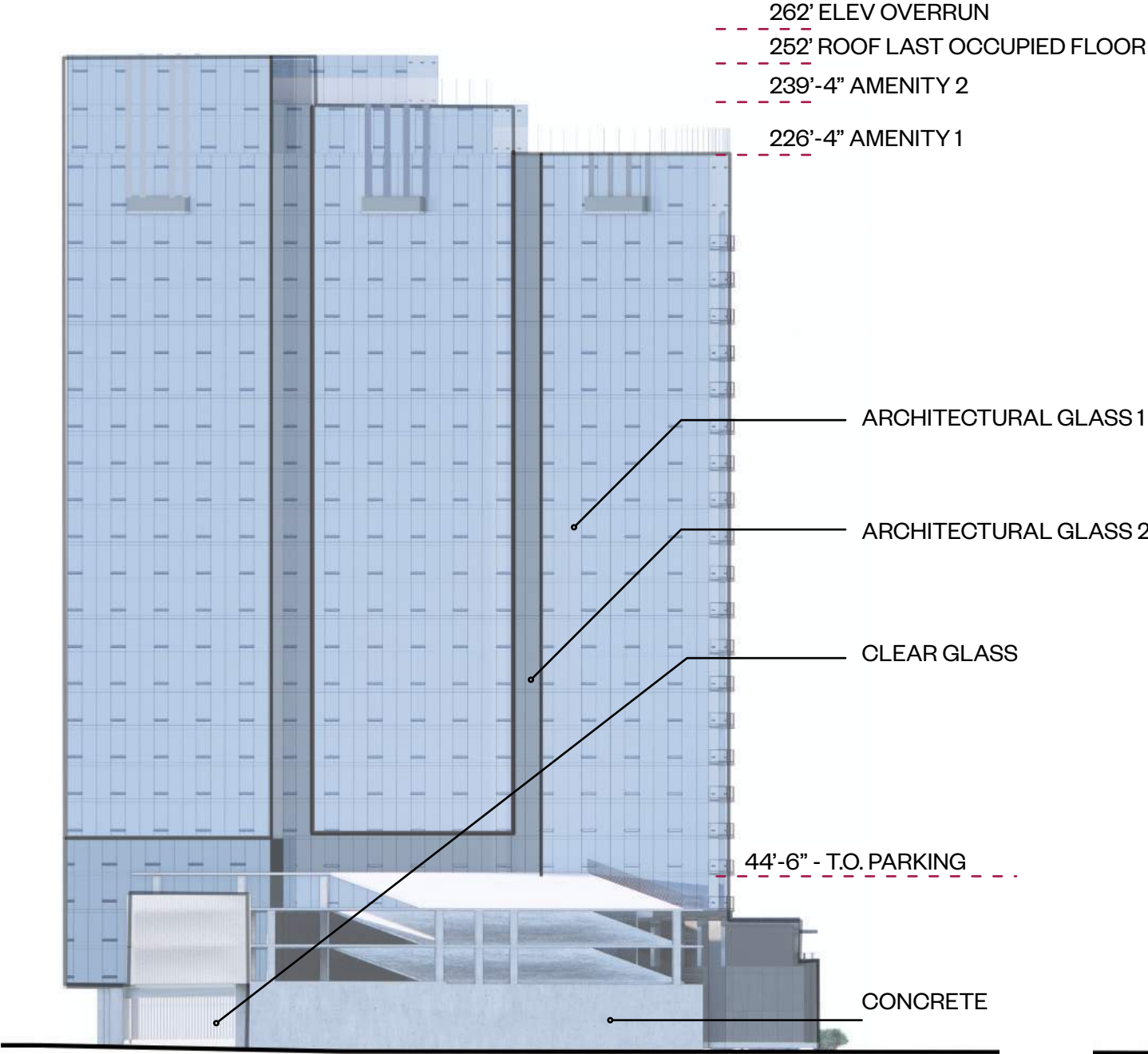
FIBER CEMENT DARK GRAY

THANK YOU

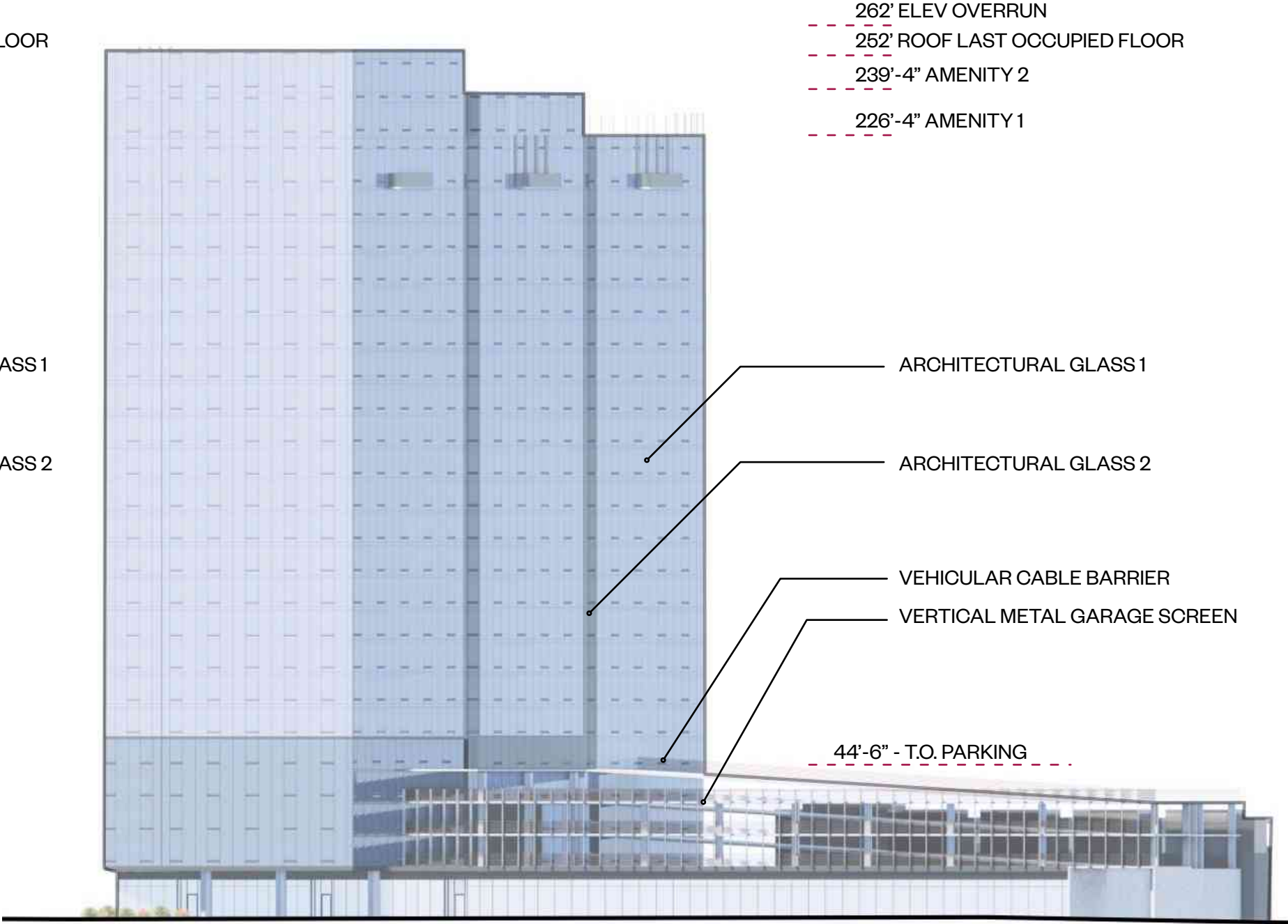


APPENDIX

ELEVATIONS

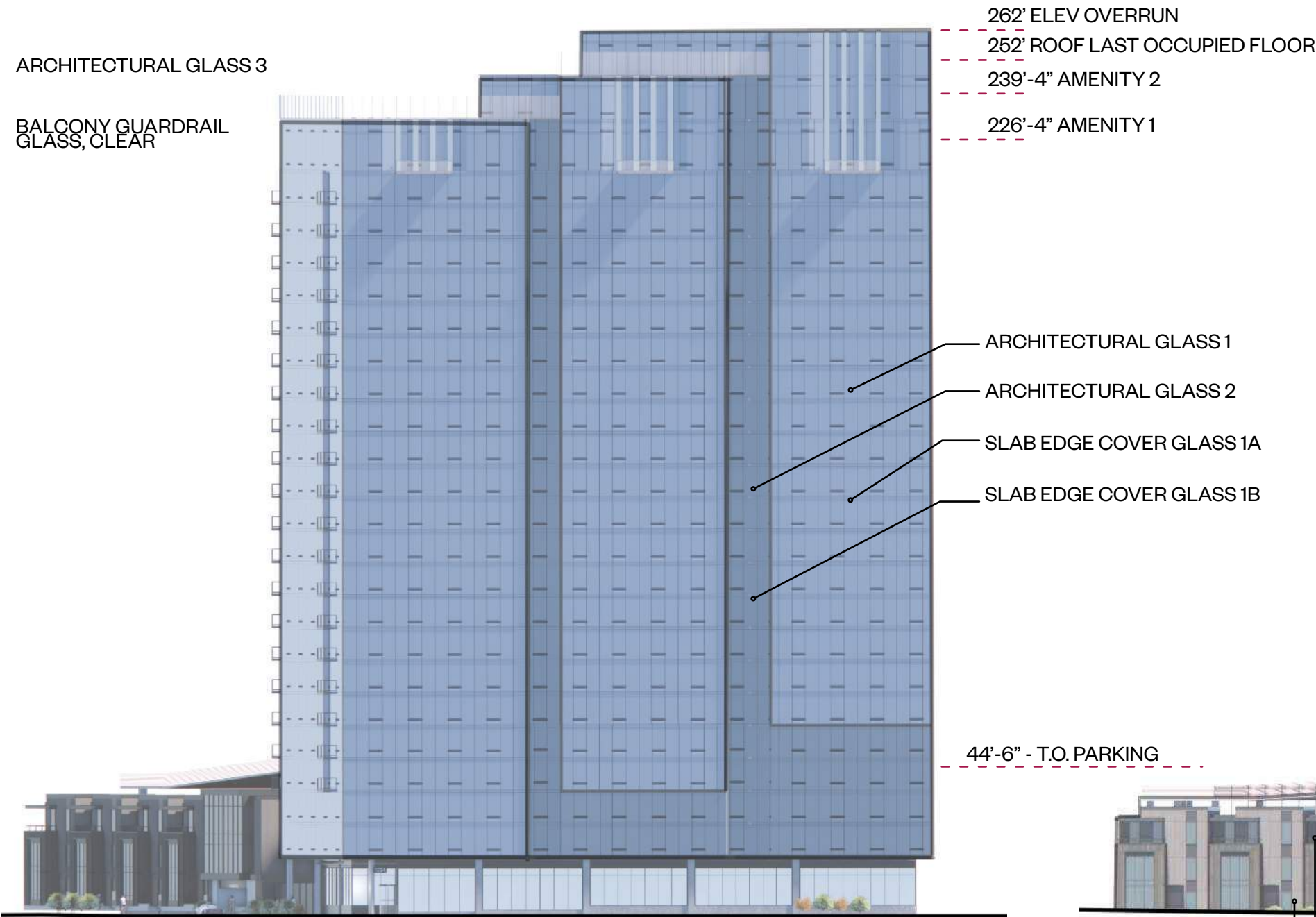


SOUTH ELEVATION

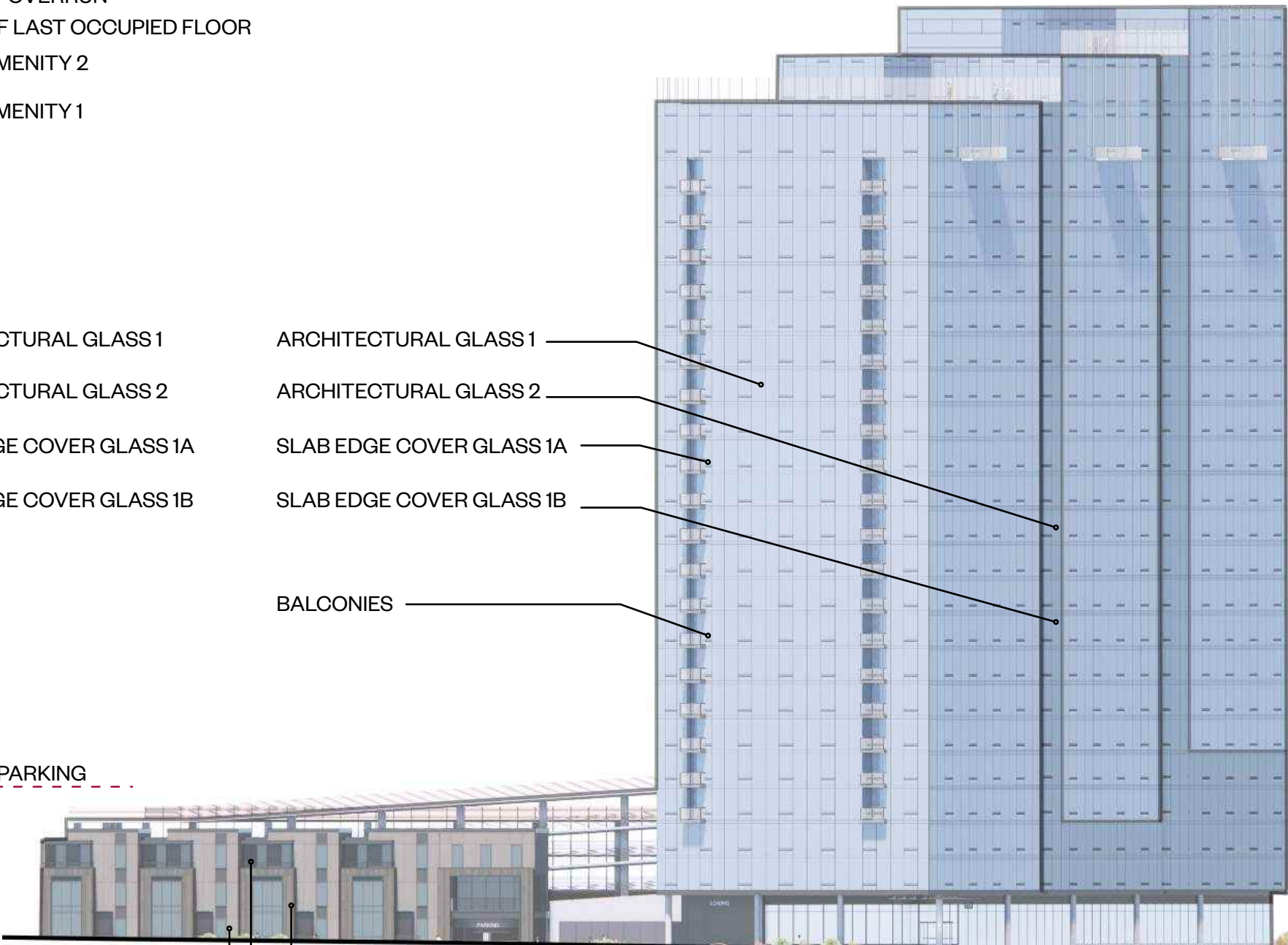


WEST ELEVATION

ELEVATIONS



NORTH ELEVATION

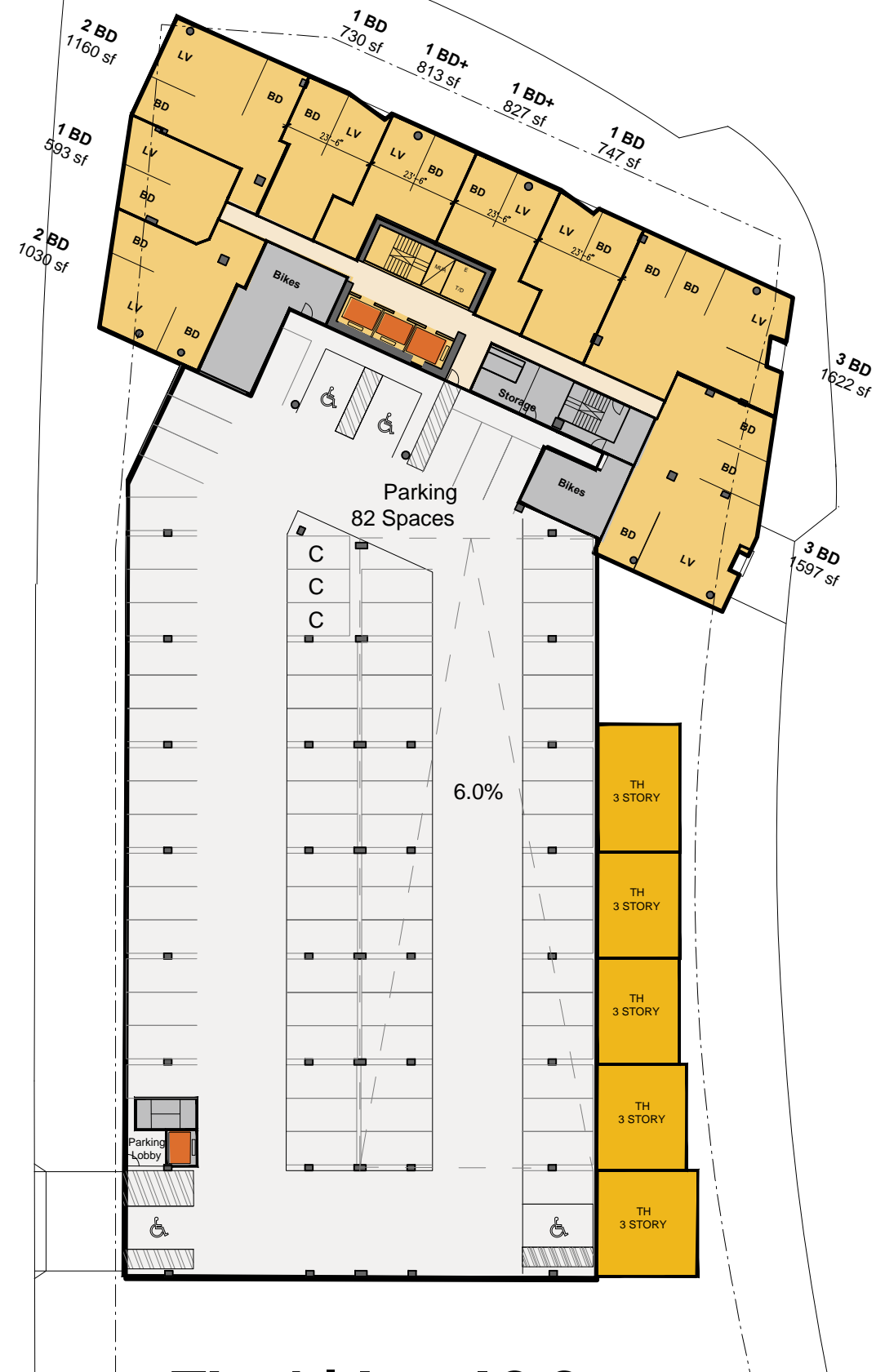


EAST ELEVATION

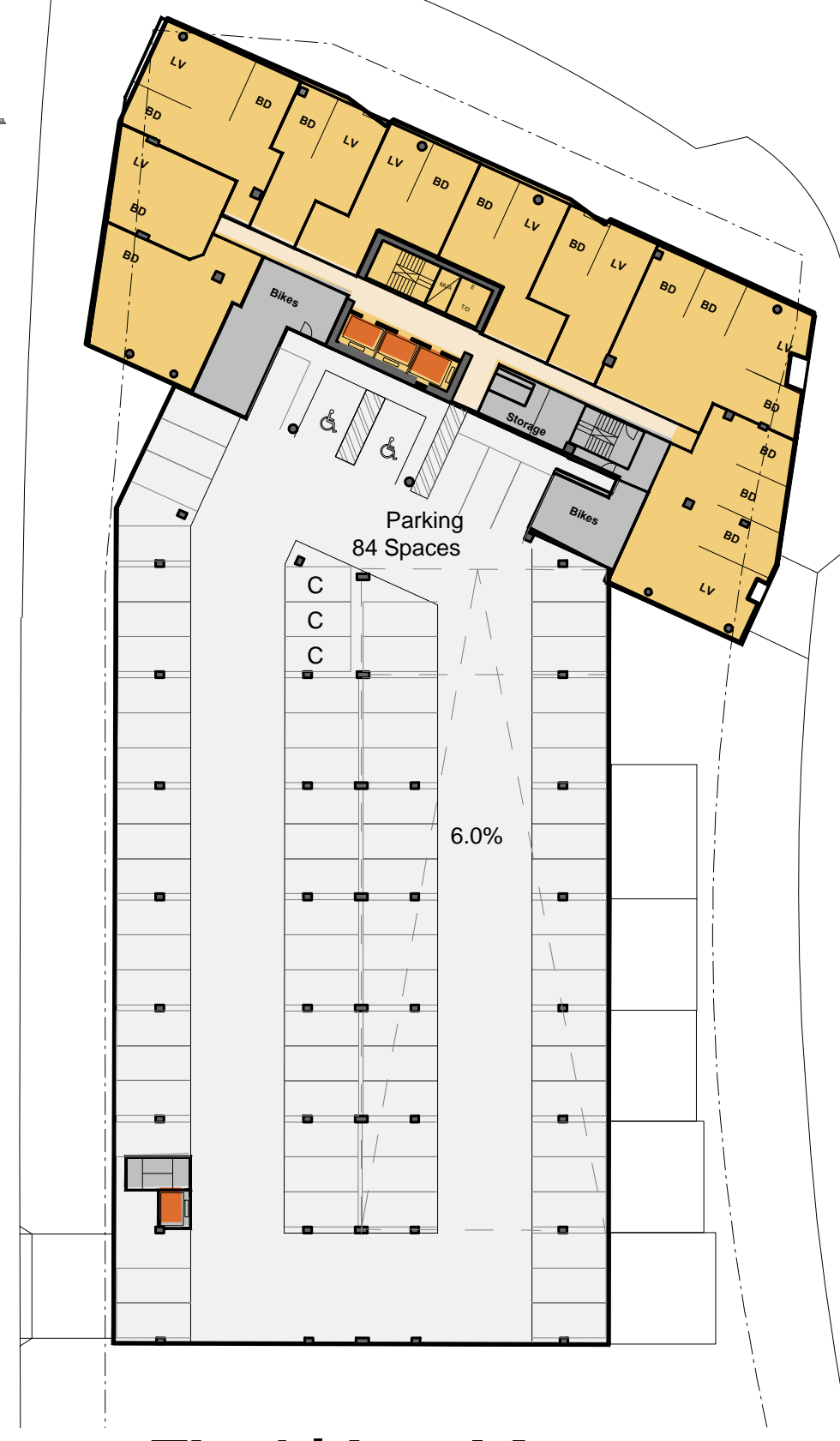
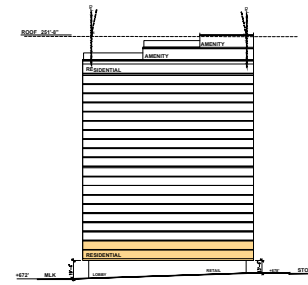
PLANS



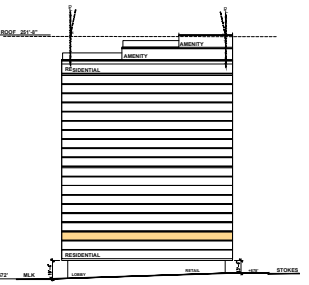
PLANS



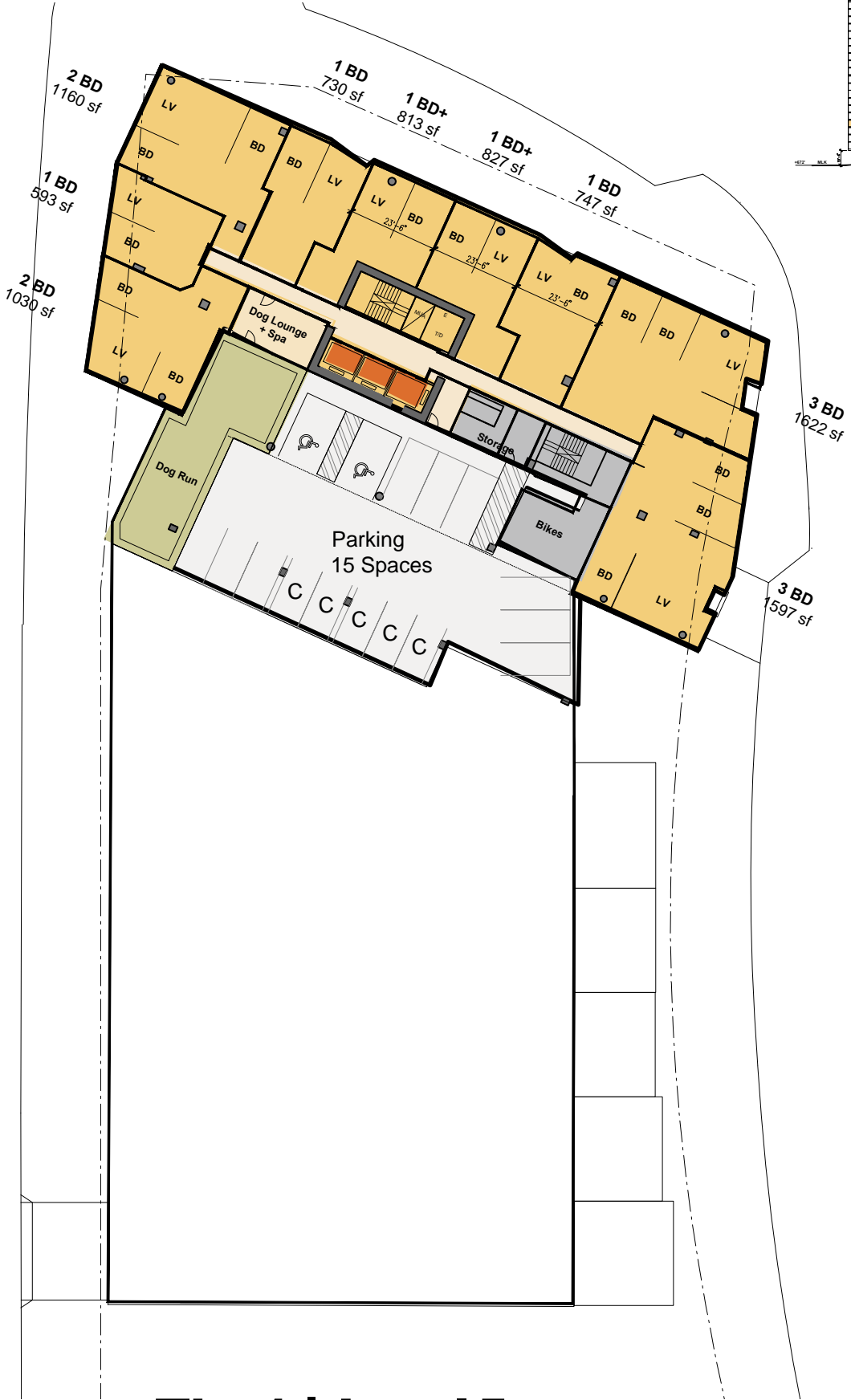
Tier 1 | Level 2-3



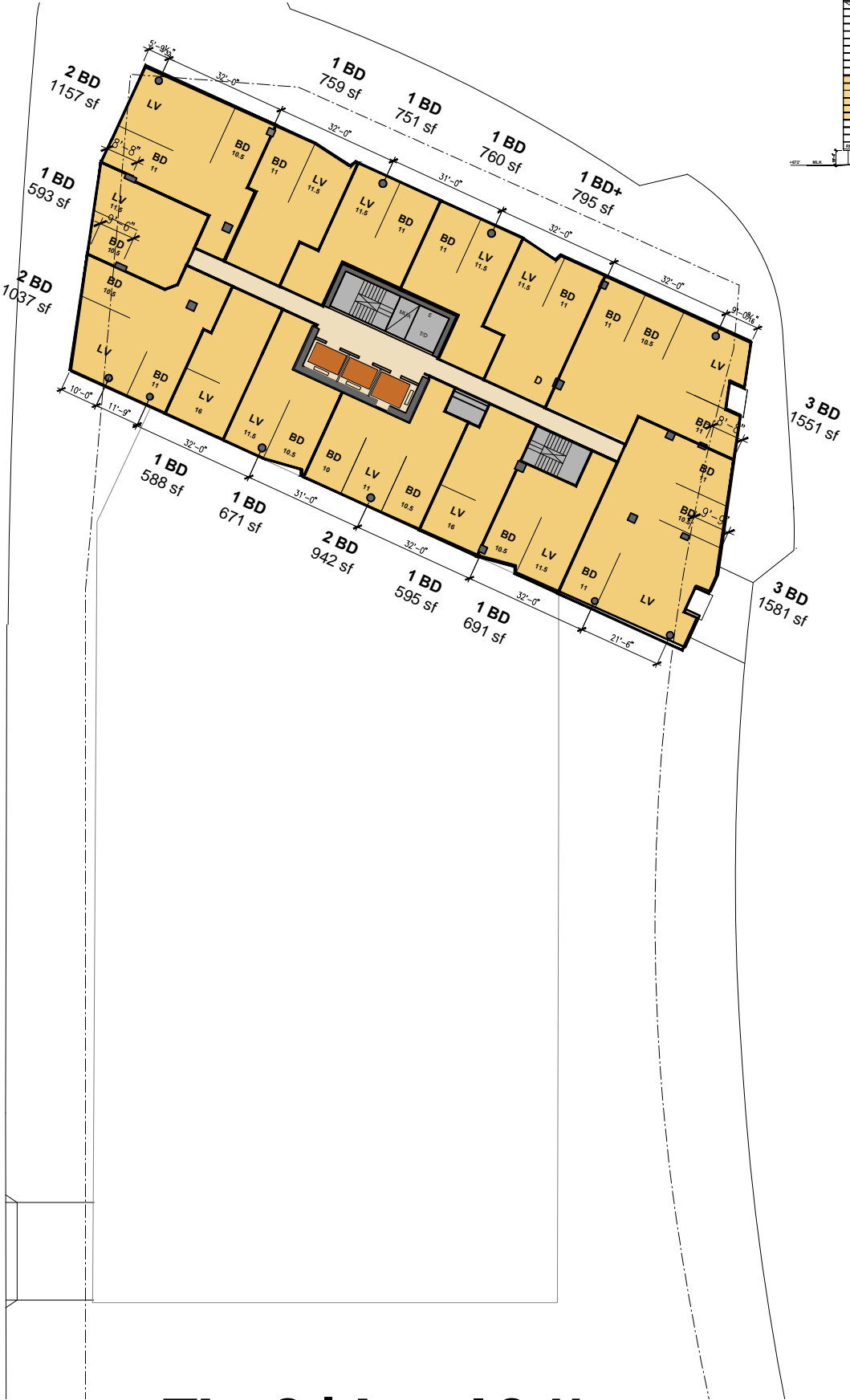
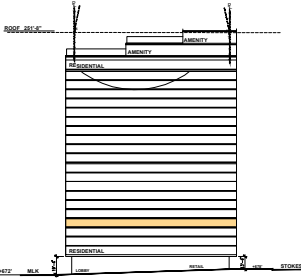
Tier 1 | Level 4



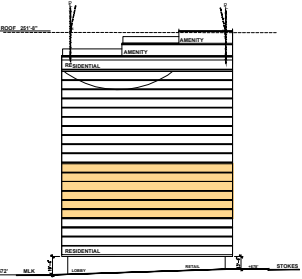
PLANS



Tier 1 | Level 5



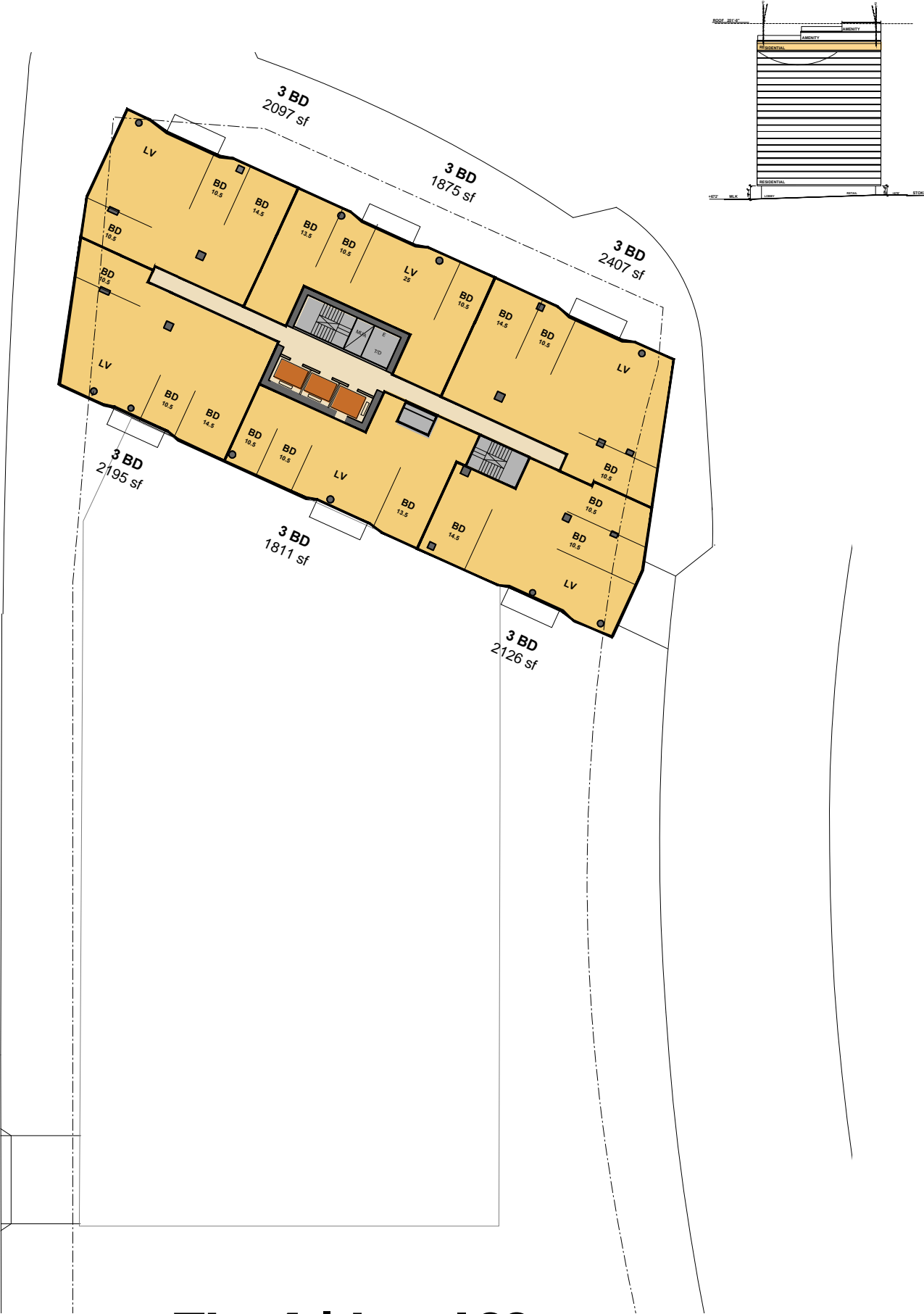
Tier 2 | Level 6-11



PLANS

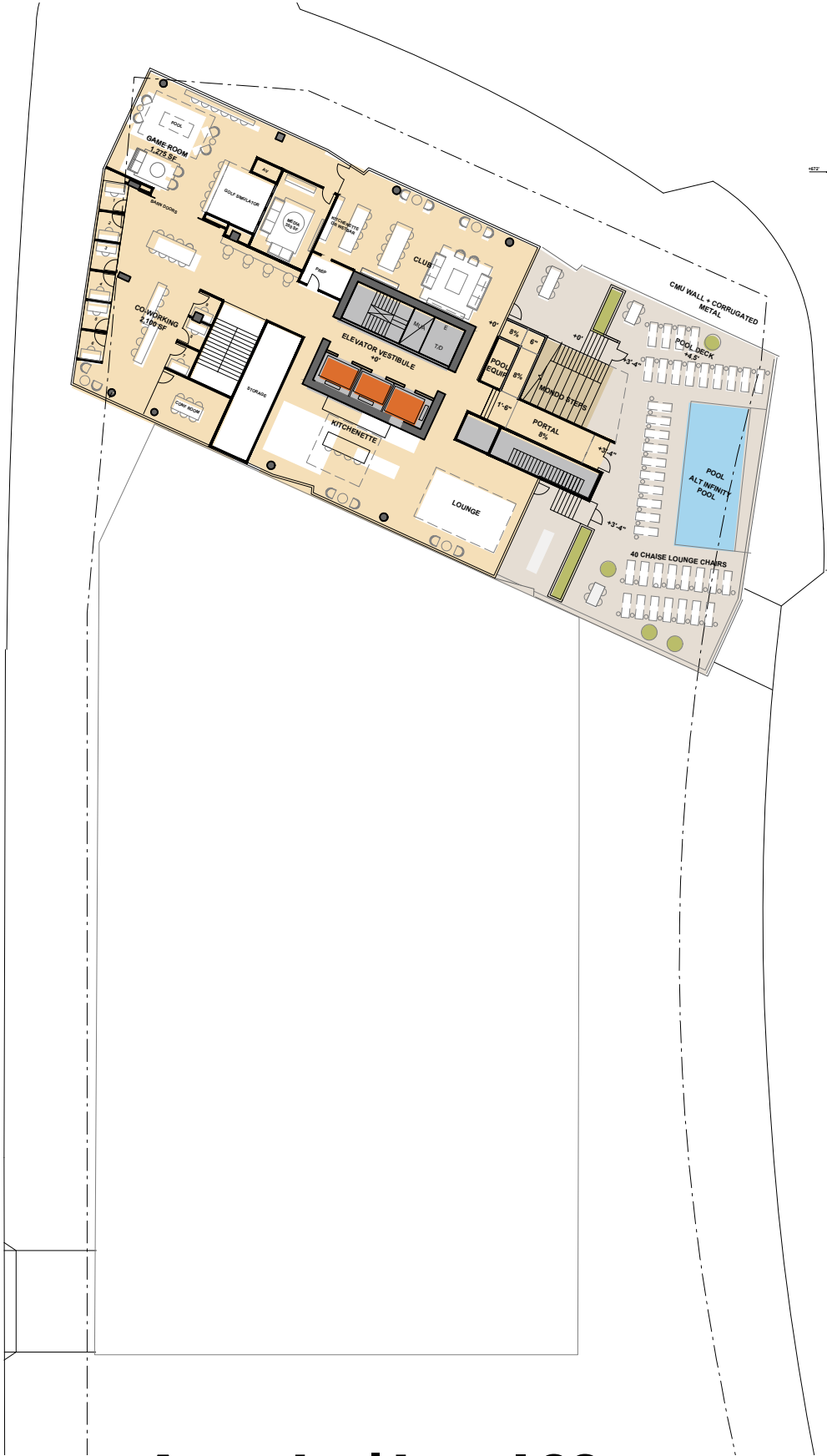


Tier 3 | Level 12-21

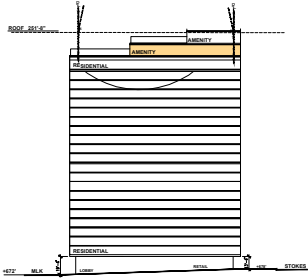


Tier 4 | Level 22

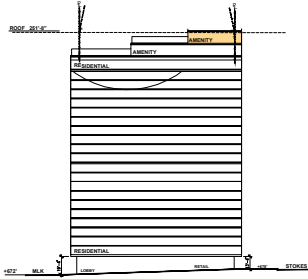
PLANS



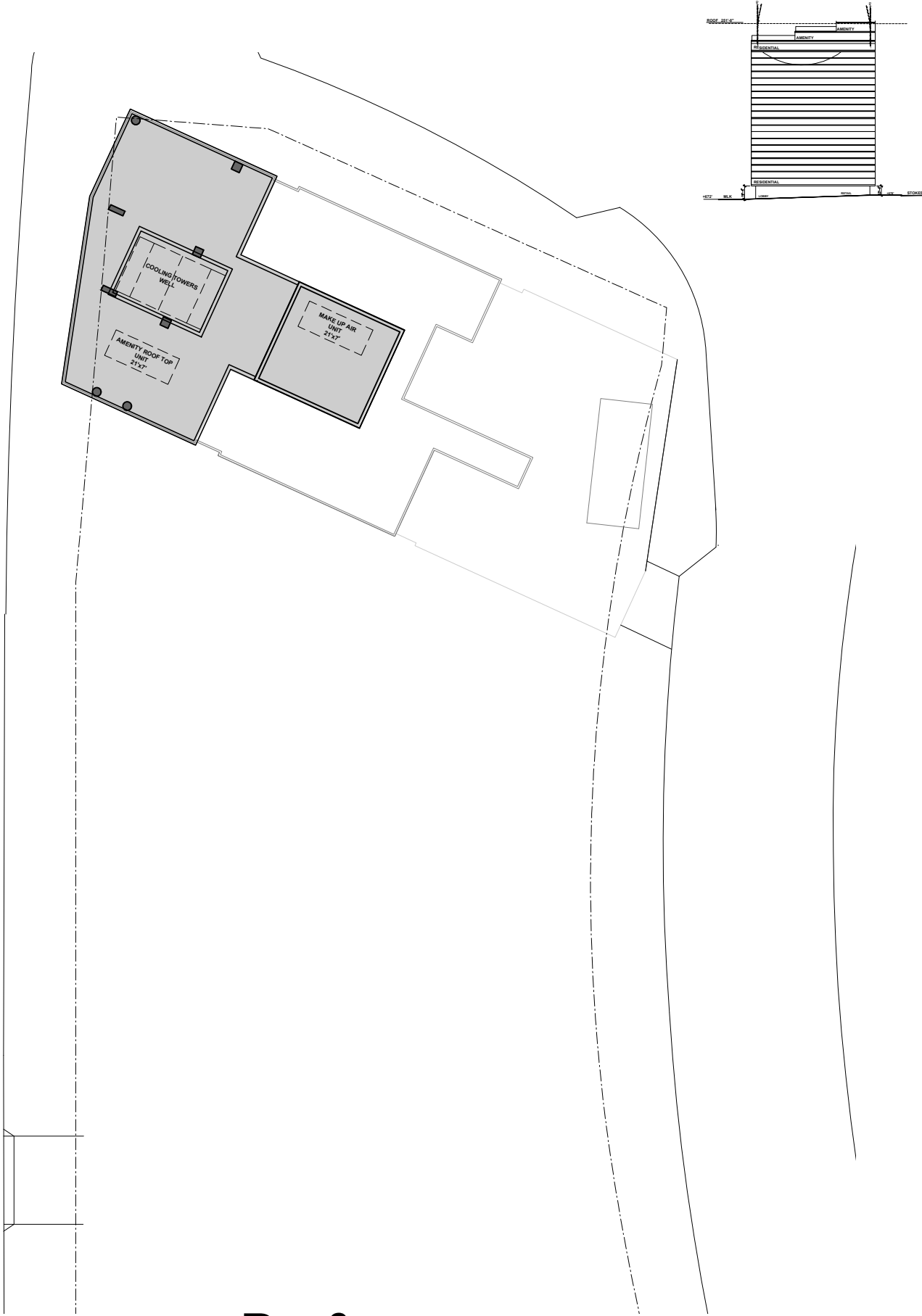
Amenity | Level 23



Amenity | Level 24



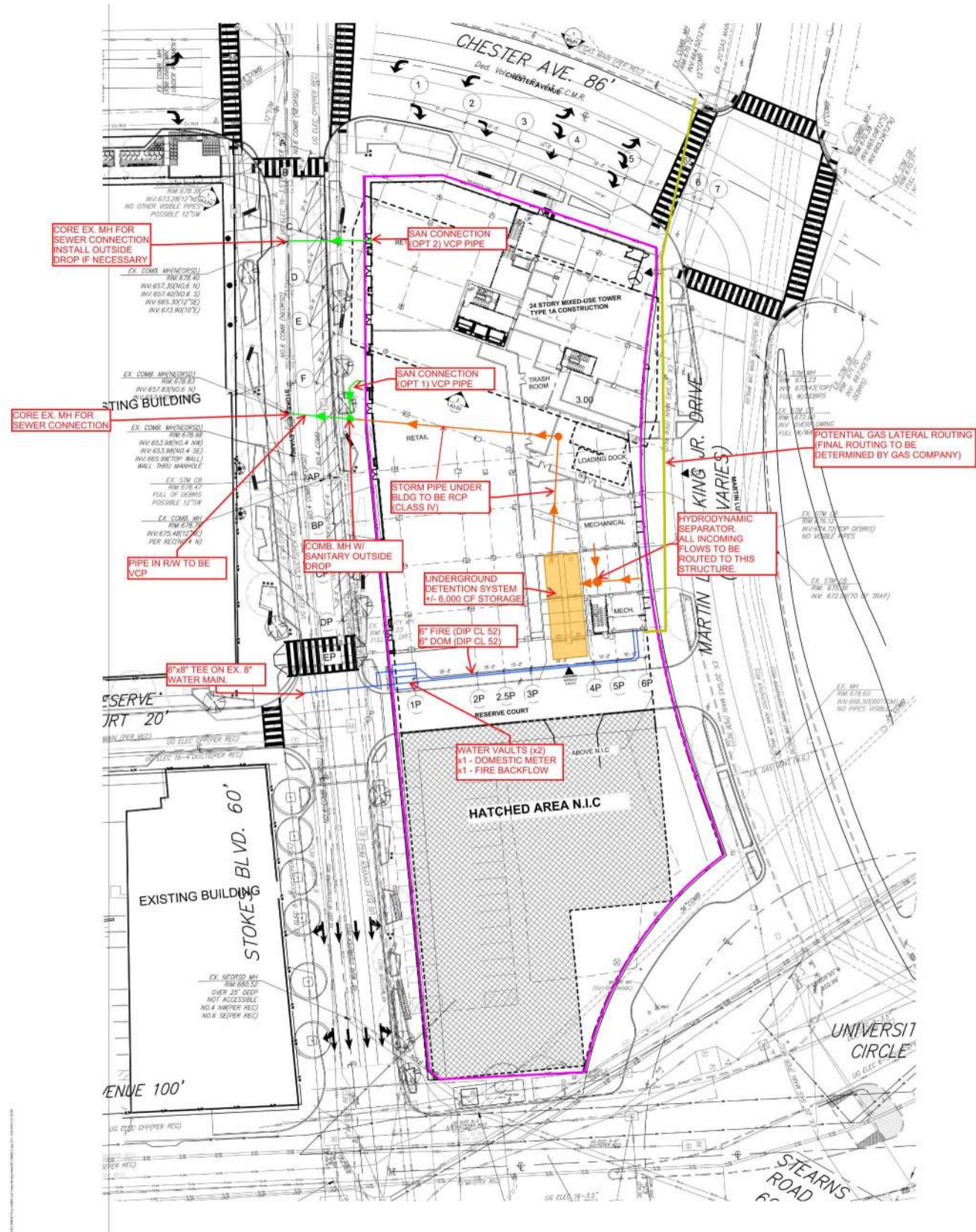
PLANS



Roof

STORMWATER MANAGEMENT

SITE UTILITY PLAN SHOWING STORMWATER CONNECTIONS & UNDERGROUND DETENTION SYSTEM



REGIONAL SEWER DISTRICT (NEORS) DETERMINATION LETTER



September 6, 2024

Mr. Grant Weirich, P.E.
Neff & Associates
6405 York Road
Parma Heights, OH 44130

Re: **East Stokes - Cleveland, Ohio**
Title IV Review Applicability Determination

Dear Mr. Weirich,

The Title IV Combined Sewer Code of the Northeast Ohio Regional Sewer District's (NEORS) Code of Regulations provides the NEORS with the authority to control combined sewer overflows (CSOs) from the combined sewer system and to control peak flows from local combined sewer systems at the point of connection into sewers owned by the NEORS or a member community. Therefore, the NEORS has the authority to review all requests for connection approval within the combined sewer system.

- Based on preliminary information, the referenced project:
- ☒ Will be subject to review by the NEORS under Title IV - Combined Sewer Code. The proposed stormwater management design for the site must meet the current NEORS Title IV Combined Sewer Code requirements, detailed in the attached guidance document, **Submittal Requirements for Connections to the Combined Sewer System - Guidelines for Review and Approval**.
 - ☐ Will not be subject to review by the NEORS under Title IV - Combined Sewer Code.

If you have any questions, please feel free to contact me at ext. 6881.

Kind Regards,



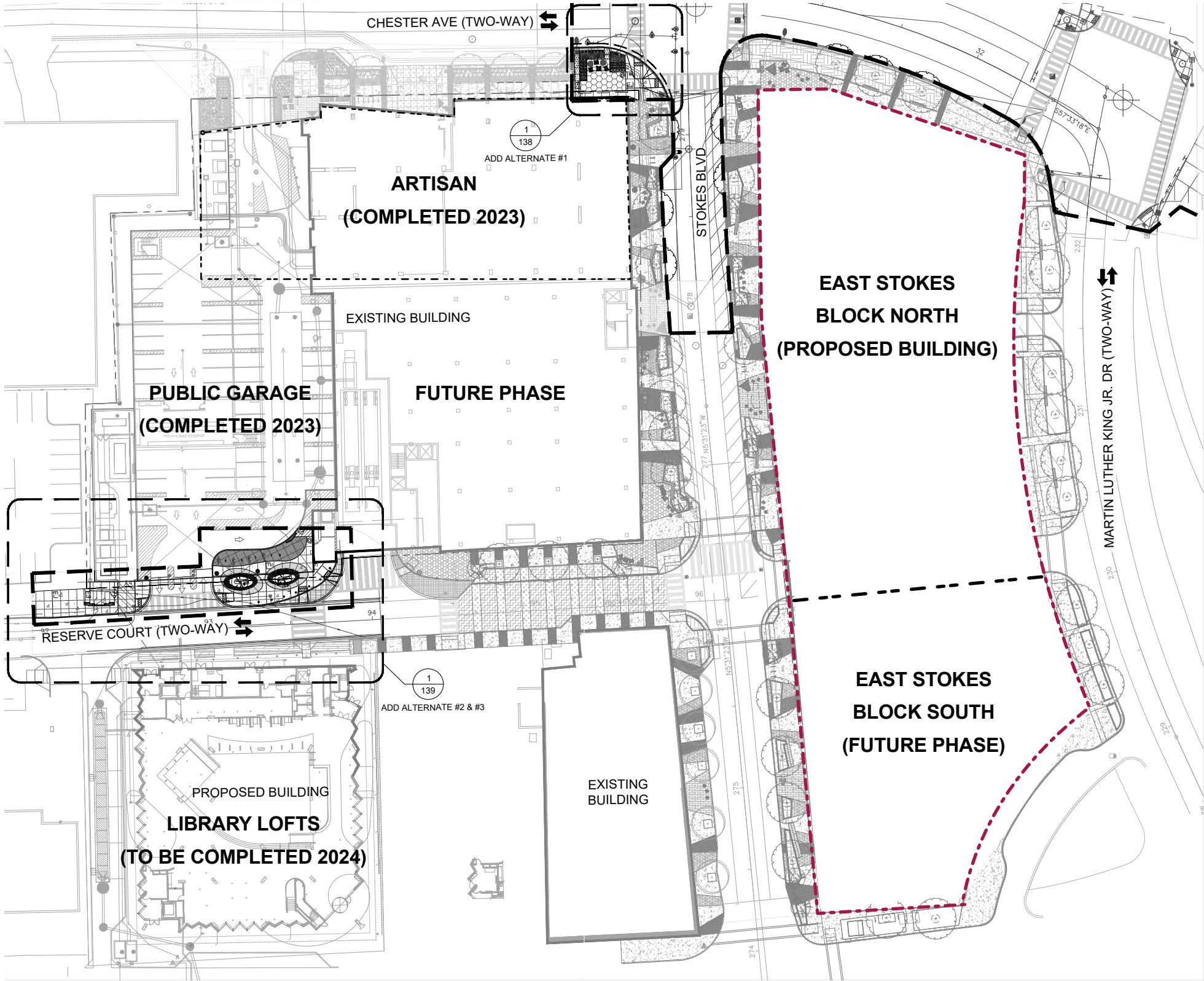
Jeffrey Jowett,
Community Discharge Permit Program Manager

cc:
Elie Ramy, Cleveland WPC
Adam Davenport, Cleveland City Planning Commission

George J. McMonagle 3900 Euclid Avenue P: 216.881.6600
Administration Building Cleveland, Ohio 44115 neorsd.org



SITE PLAN



LEGEND

- PROPERTY LINE
- PROJECT LIMIT LINE, OFFSET 2' FOR CLARITY
- DECIDUOUS TREE, 8' HEIGHT
- SHRUBS/PERENNIALS
- PERENNIALS/ GROUNDCOVER
- 6" CONCRETE WALK, AS PER PLAN, PER D-23 AND D-24
- 6" CONCRETE WALK (INTEGRAL COLOR A), AS PER PLAN, PER D-23 AND D-24
- 6" CONCRETE WALK (INTEGRAL COLOR B), AS PER PLAN, PER D-23 AND D-24
- 6" CONCRETE WALK (INTEGRAL COLOR C), AS PER PLAN, PER D-23 AND D-24
- 8" CONCRETE WALK, AS PER PLAN, PER D-23 AND D-24
- PEDESTRIAN UNIT PAVERS, TYPE 1
- VEHICULAR UNIT PAVERS
- CURB, TYPE 6, AS PER D-23 AND D-24 (PLANTER CURB)
- CONTROL JOINT
- EXPANSION JOINT
- FENCE, TYPE CLT
- GATE, TYPE CLT
- INTEGRAL COLOR CONCRETE PLANTER
- METAL SCREEN
- WAYFINDING SCREEN, TYPE 1
- WAYFINDING SCREEN, TYPE 2
- BOLLARD
- BIKE RACK
- TRASH RECEPTACLE
- LIGHT POLE, REFER TO CIVIL
- GFCI OUTLET COVER
- LED STRIP LIGHT
- FIXED FURNITURE, NIC

1 OVERALL SITE PLAN (FOR REFERENCE ONLY)
1" = 30'-0"



UNIVERSITY CIRCLE



EXISTING ROW CONDITIONS



1 - LOOKING EAST ON CHESTER AVE



2 - LOOKING SOUTH ON STOKES BLVD



3 - LOOKING SOUTH ON MARTIN LUTHER KING JR. BLVD



4 - LOOKING WEST ON CHESTER AVE



5 - LOOKING NORTH ON MARTIN LUTHER KING JR. BLVD



6 - LOOKING NORTH ON STOKES BOULEVARD



ZONING

PROJECT BRIEF

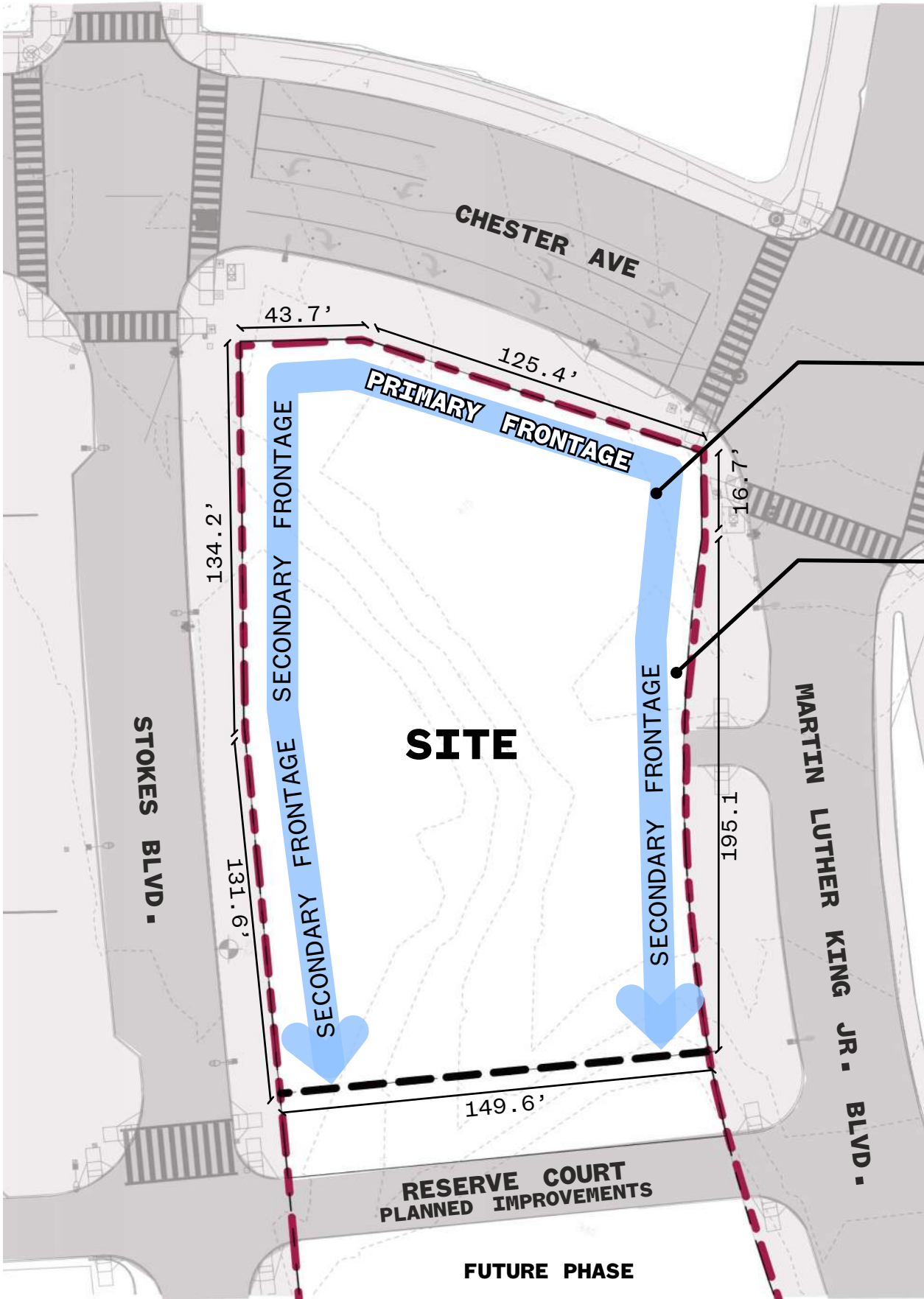
EAST STOKES IS A 24-STORY 296,000 GSF 281 UNIT APARTMENT BUILDING WITH GROUND LEVEL RETAIL. THE PARKING GARAGE WILL CONTAIN 315 PARKING SPACES

SITE LOCATION MAP



ZONING MATRIX																					
Address: Cleveland, Ohio																					
Section	Item	ALLOWED	PROPOSED																		
	Design Review Regions	Euclid Corridor/Buckeye																			
	Design Review District	University Circle																			
348.05	Overlays	Urban Core Overlay																			
301	Transit Oriented Development and Transportation	Transit Oriented Development Zone																			
	Demand Management																				
	Zoning	LLR-K5																			
	Use District	Limited Retail Business	Retail, Office, Residential																		
	Area District	K																			
	Height District	5																			
Building Height																					
348.05	Urban Core Overlay (UC) District																				
	Minimum	Minimum building height at actual setback shall be 1/2 the width of the street ROW on which the building fronts. Maximum height shall be as regulated by the underlying Height District.																			
	Maximum	Maximum Height shall be as regulated by the underlying Height District																			
353.01	Underlying Height District Regulations	5 * (Distance to Center Line of Street); maximum 250' without setbacks																			
353.02	Setback Regulations and Maximum Height	Any portion of a building may exceed the height limit specified in Section 353.01(b) provided that such portion is set back from all buildings lines or required yard lines the distance specified in the following table, and provided further that such portion does not exceed the maximum height specified in the table:																			
		<table><tr><th>Height District Number</th><th>Above Height Limit: Setback for Each Foot of Additional Height (Feet)</th><th>Maximum Height Above Grade Level * (Feet)</th></tr><tr><td>1</td><td>1</td><td>50</td></tr><tr><td>2</td><td>1/2</td><td>90</td></tr><tr><td>3</td><td>1/3</td><td>175</td></tr><tr><td>4</td><td>1/4</td><td>260</td></tr><tr><td>5</td><td>1/5</td><td>375</td></tr></table>	Height District Number	Above Height Limit: Setback for Each Foot of Additional Height (Feet)	Maximum Height Above Grade Level * (Feet)	1	1	50	2	1/2	90	3	1/3	175	4	1/4	260	5	1/5	375	
Height District Number	Above Height Limit: Setback for Each Foot of Additional Height (Feet)	Maximum Height Above Grade Level * (Feet)																			
1	1	50																			
2	1/2	90																			
3	1/3	175																			
4	1/4	260																			
5	1/5	375																			
		* Except as provided in Section 353.06																			
	Allowable Building Height Summary	Project is allowed a Maximum Height of 375' above grade with 1/5 setback for each foot of additional height above 250' above grade																			
Block Length - Urban Core Overlay (UC) District																					
348.05(d)(1)	A. Block Length B. Block Perimeter C. Mid Block pedestrian Connection or Public alley	500' max; no development shall cause a net increase in existing block length 1,400' max Block Lengths over 400'																			
Setbacks - Urban Core Overlay (UC) District																					
348.05(d)(2)	A. Front yard depth; principal street frontage B. Front yard depth; secondary street frontage C. Interior Side yard depth D. Rear yard depth	80% of frontage build-out 0' to 3' or equivalent ground plane area 20% of frontage build-out: 12 ft. max., or equivalent ground plane area 80% of frontage build-out: 0' to 3' max or equivalent ground plane area 20% of frontage build-out: 12 ft. max., or equivalent ground plane area 0' min. 0' min.	0' Setback																		
	(3) Building Configuration A. Frontage build-out, principal and secondary street frontage B. Active use; first-story	90% min.; the frontage build-out requirement may be met with a streetscreen, plaza, or square for up to 10% of the street frontage. Streetscreens shall be 3.5' in height min. Streetscreens screening non-active uses shall be 6' in height min. and shall have 50% opacity min. Required on 70% of each of the principal and secondary street frontages																			
Floor Area Ratio (FAR) - Urban Core Overlay (UC) District																					
348.05(d)(3)	D. Floor area ratio	No max																			
Parking, Loading and Garage requirements - Urban Core Overlay (UC) District																					
348.05(d)(5)	A. Required parking	None	56 Spaces																		

ZONING DIAGRAMS



ZONING PLAN

353.02:

SETBACK REGULATIONS AND MAXIMUM HEIGHT

**MAXIMUM 375' ABOVE AVERAGE GRADE WITH
1/5 SETBACK PER FOOT ABOVE 250'**

EL: 375'
MAX HEIGHT
EL: 1,052.03'

353.01: HEIGHT DISTRICTS ESTABLISHED

**MAXIMUM 250' ABOVE AVERAGE GRADE FOR
HEIGHT ZONE 5**

348.05(D)(3):

**ACTIVE GROUND-LEVEL USES ON 70% OF EACH
PRINCIPAL AND SECONDARY STREET FRONTAGES**

EL: 250'
MAX HEIGHT
EL: 927.03

348.05(D)(2):

**FRONT YARD DEPTH; PRINCIPAL & SECONDARY
STREET FRONTAGE**

- 80% OF FRONTAGE BUILDOUT AT 0-3FT
MAX, OR EQUIVALENT GROUND PLANE AREA
- 20% OF FRONTAGE BUILDOUT AT 12FT MAX,
OR EQUIVALENT GROUND PLANE AREA

348.05(D)(2):

INTERIOR SIDE & REAR YARD DEPTH:

0 FT. MINIMUM.

STOKES BLVD.

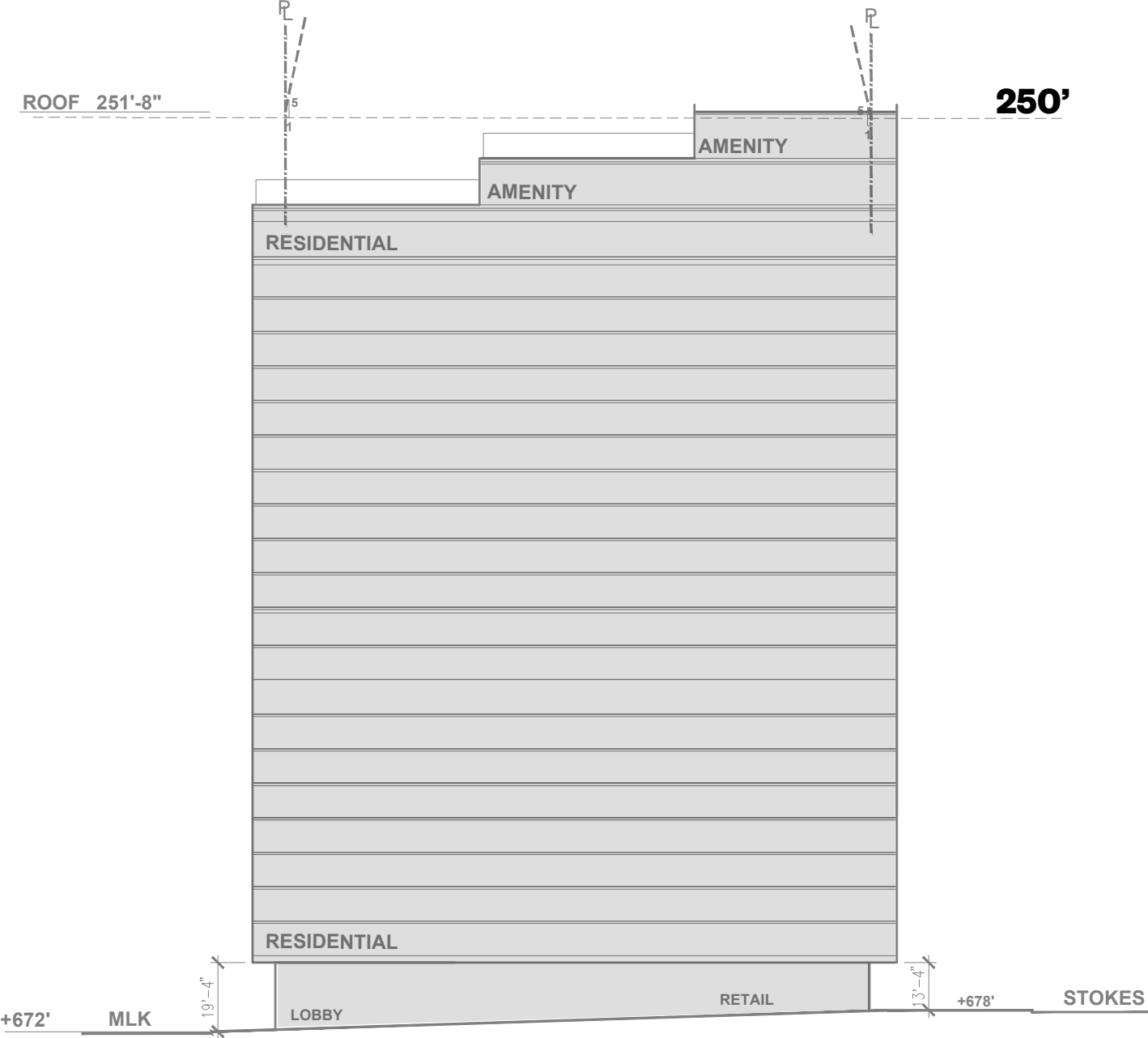
AVG. GRADE
EL: 677.03

MLK JR BLVD.

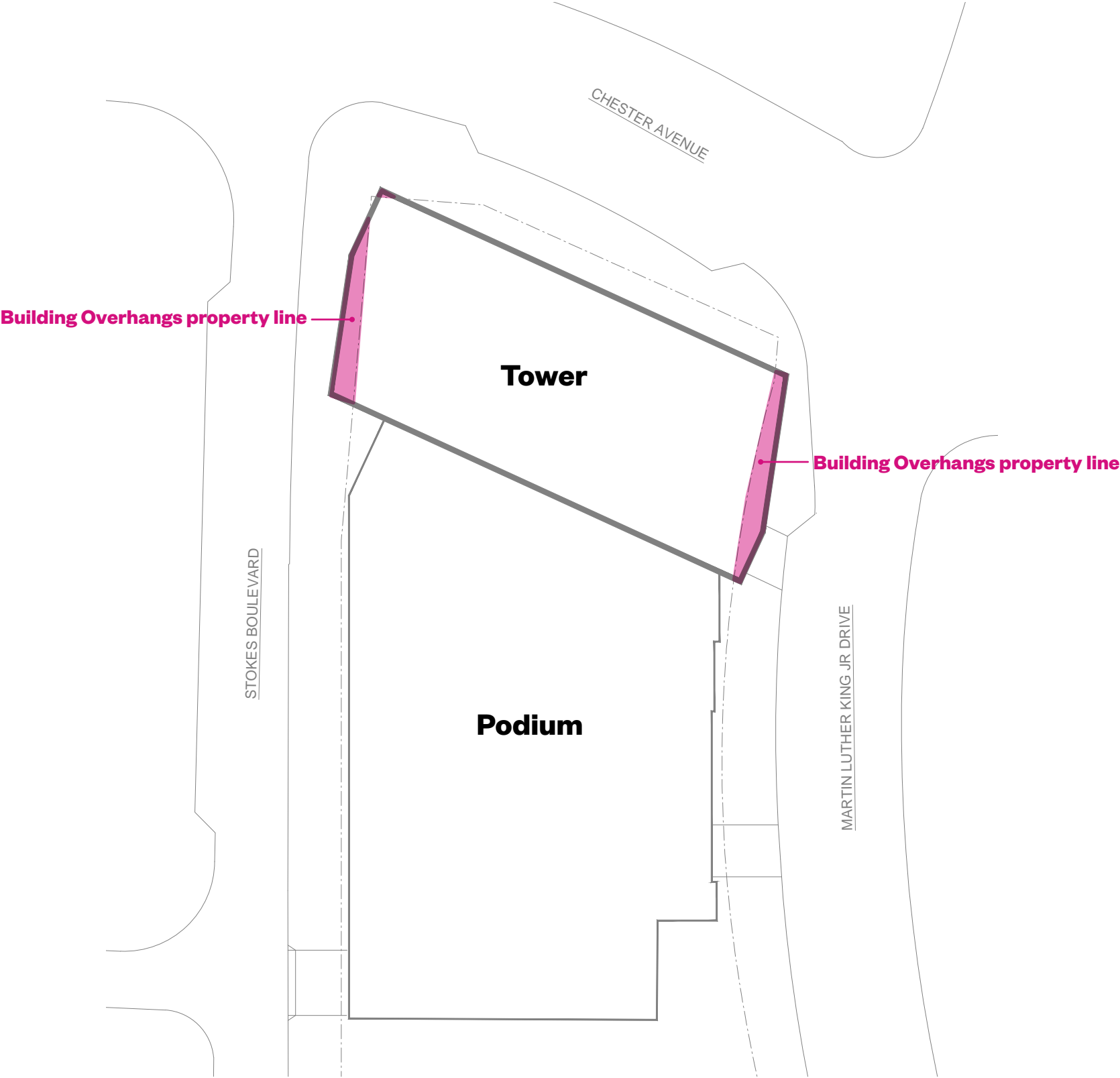
ZONING SECTION



ROW OVERHANG



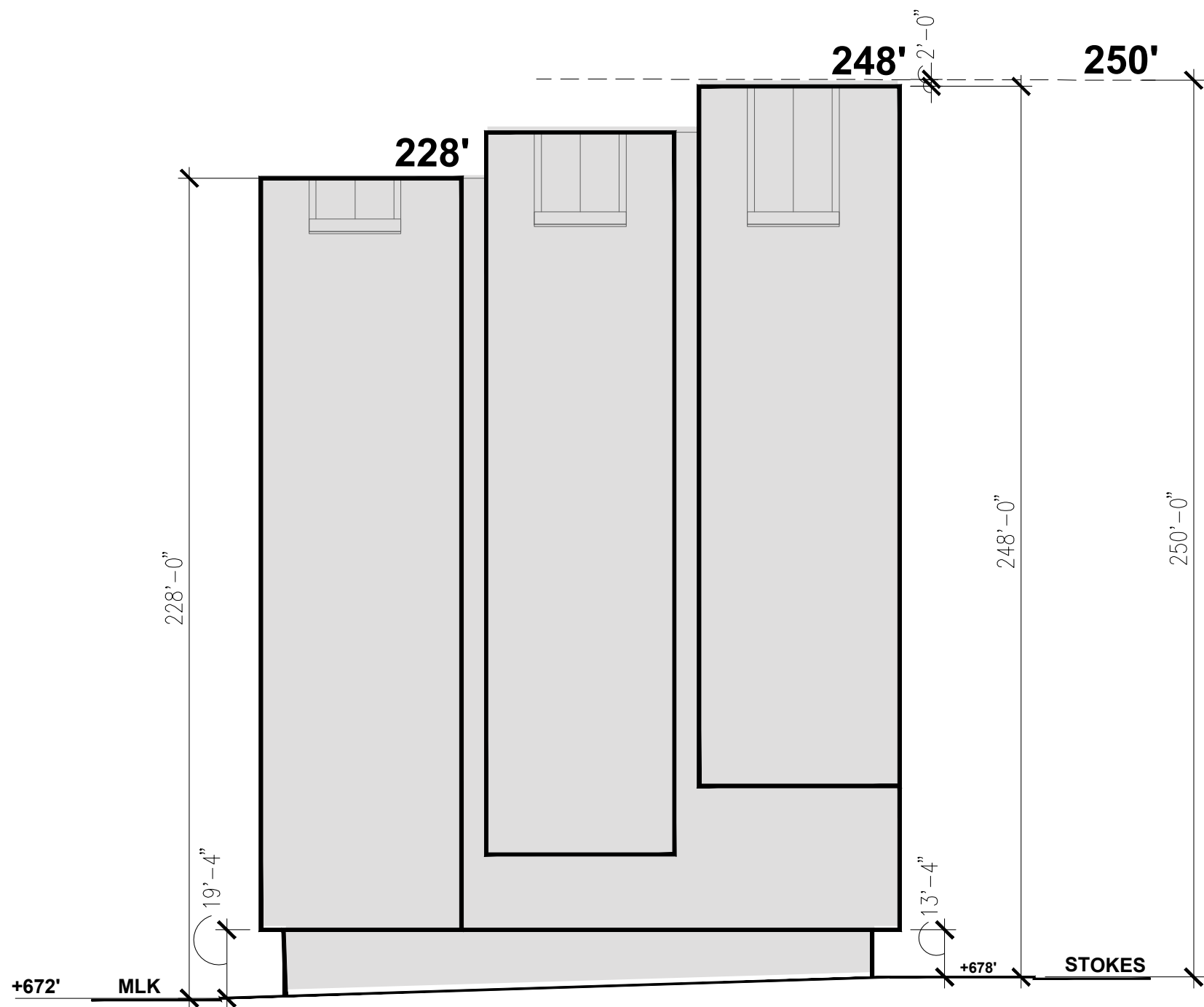
Section



Site Plan

ZONING

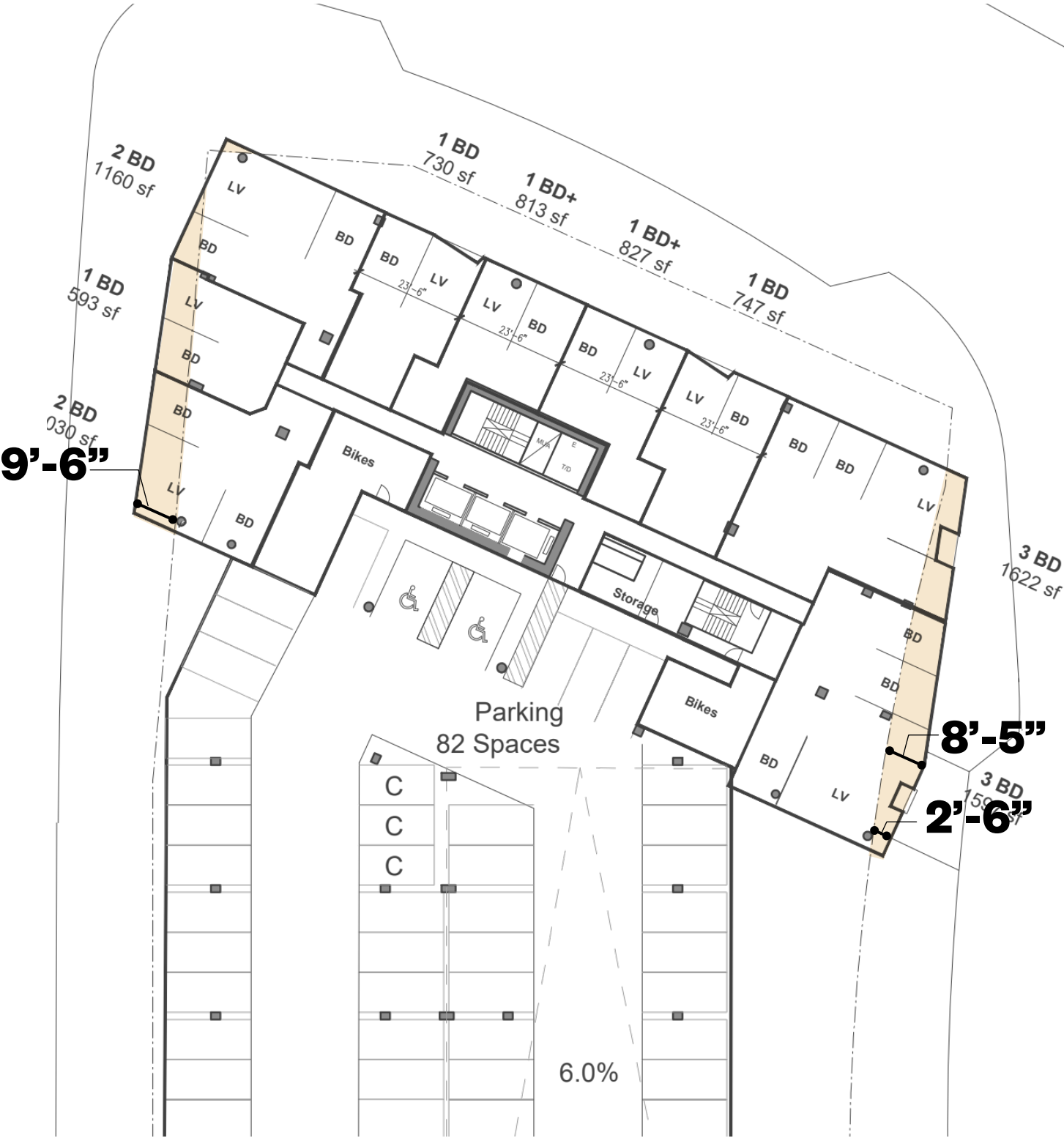
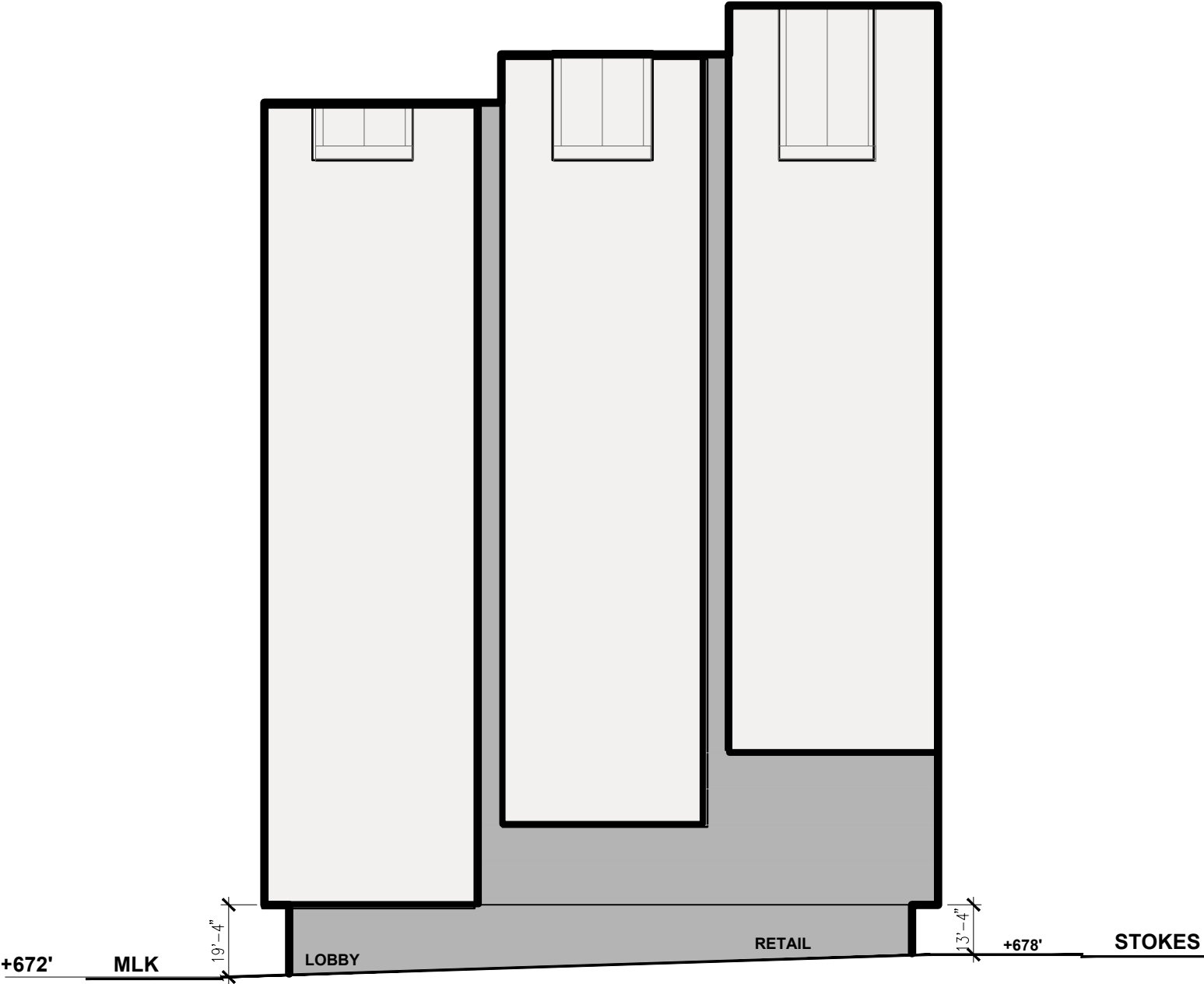
Building Height & Grade Plane



High Roof is 248' tall from Stokes



ROW OVERHANG



EC2024-025 – Circle Square, East Stokes Block, north portion

August 15, 2025

Design Review Advisory Committee:

ECDRAC recommended schematic approval on 8/14/25 with conditions to study the following:

- Return with phasing strategy showing the architecture and landscape of each phase: how site is treated before townhouse construction (will garage be exposed, any upturned beams; how adjacent site (south) will be treated in phasing.
- Study how the base of the building may be tied into the townhomes, whether materials can be incorporated into building from the pedestrian level.
- Spandrel glass – provide a clearer idea of how this will look in the daytime with materiality using close-up rendering of balcony and corner of building; and provide a night view showing vertical striping of spandrel verses daylit interiors.
- Large concrete wall at the garage – how will it be treated? Is there an opportunity at the base for art as screening? Show interim treatment(s) between phases.
- Describe how land to south of project will be treated once this building phase is complete
- Study whether the Liberty Oaks can continue along MLK Dr regarding their historical significance
- Next steps: complete landscape & lighting plans, and detailed retail space treatment.

City Planning Staff:

- This is a pivotal project for an area experiencing great resurgence of excitement in scale, activity and significance to the city
- Introduction of townhomes is an interesting element to the MLK Jr corridor and could be enhanced with additional townhomes in a subsequent phase for greater impact of presence
- Although the towers are significant in scale, the inclusion of operable windows here could add to the visual interest while the building is occupied
- Staff recommends approval of comments from DR Committee

Cleveland City Planning Commission

Downtown/Flats Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

DF2025-028 – Ten60 Bolivar Signage

August 15, 2025

Project Address: 1060 Bolivar Rd

Type: Signage

Project Representative: Vince Dilonno, Blink Signs

Approval: Final

Ward 5: Council Member Starr

SPA: Downtown

CDC: N/A

Parking Garage Signage

1060 Bolivar Rd

City Planning Commission Hearing

August 15, 2025



CITY OF CLEVELAND
Mayor Justin M. Bibb

CITY PLANNING COMMISSION

Proposal

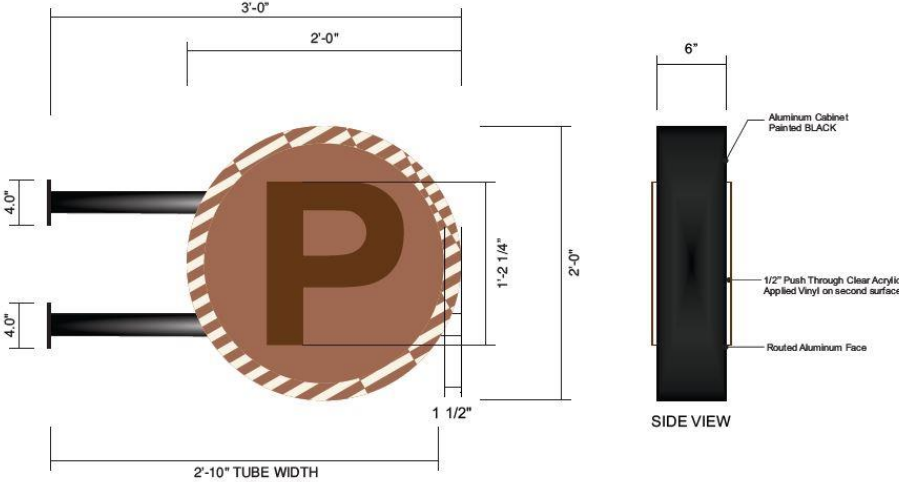
Applicant is proposing two 4sf projecting signs for parking garage used for tenant parking and paid parking .

NOTE: INSTALLED 11' FROM BOTTOM EDGE TO GRADE

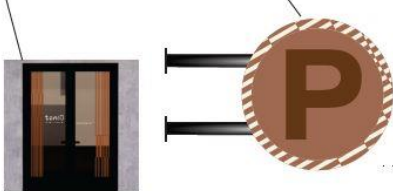
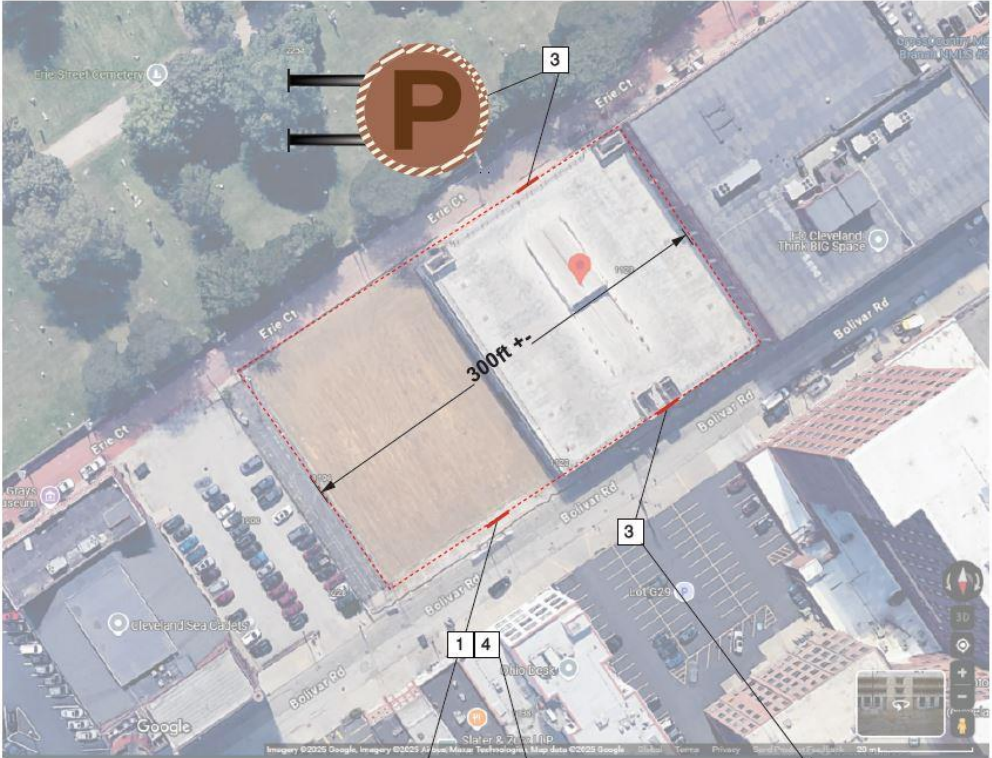
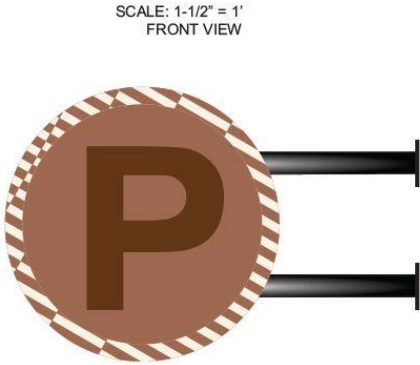
SCOPE:
- Manufacture & Install

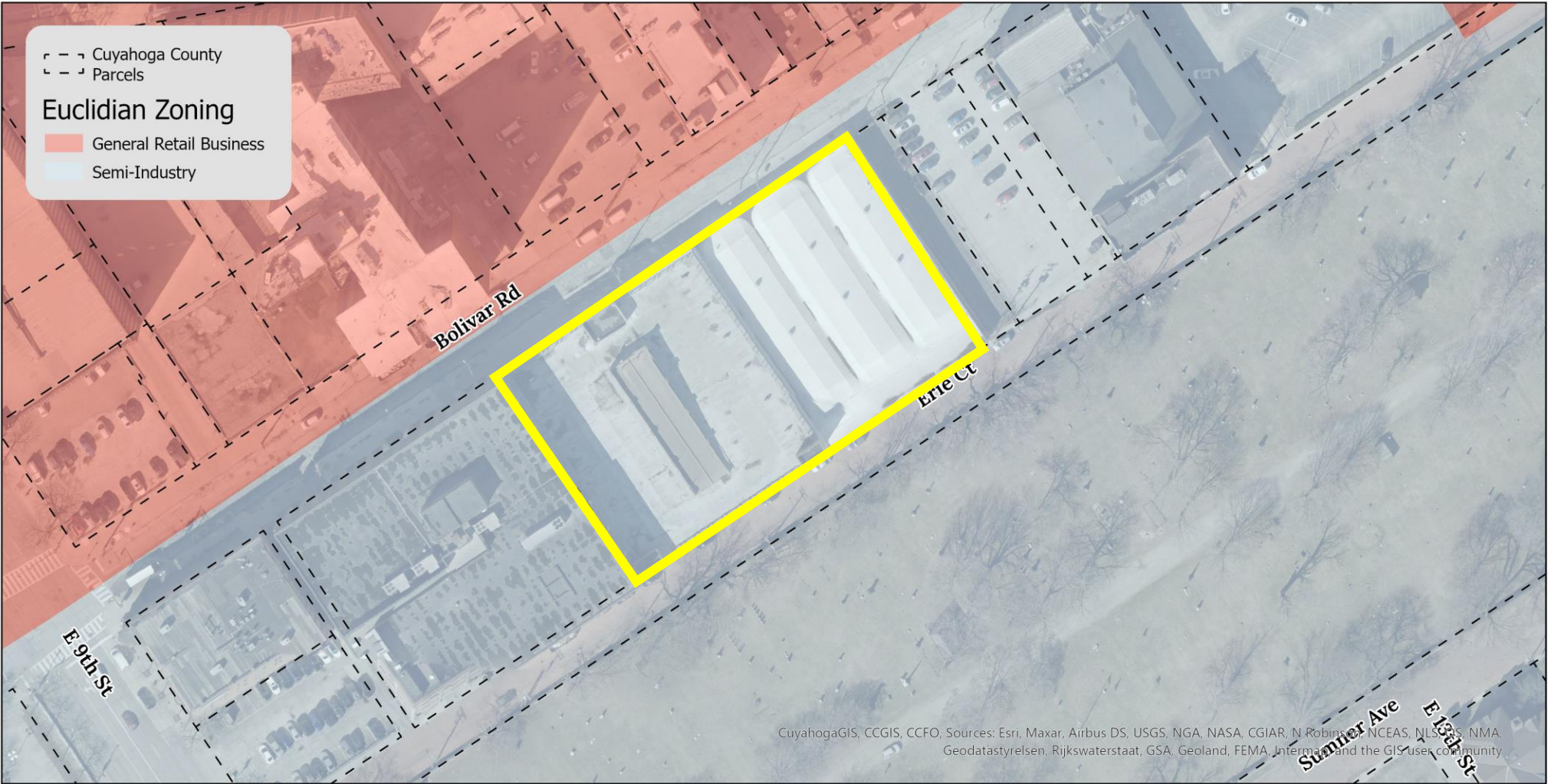
Description/Details:
CABINET:
- 24" Diameter, 6" Deep Aluminum Cabinet Painted Black
- Copy to be Routed Aluminum Faces Painted Brown
- 1/2" Clear Acrylic Push Through Logo 1" Applied translucent vinyl graphics on second surface Front only, Sides to be Clear for Halo effect
- Pattern to be Digitally Printed Applied Vinyl Graphics
- White Internal LED Illumination
- Blade sign mounting: (2) 2" x 2" Aluminum Tubes & (2) 4" H x 4" W x 1/2" Thick Concealed Mounting Plate Painted Black

Color Specs:
BLACK
PANTONE 7525 C
PANTONE 732 C
PANTONE 7506 C 35%



This is a graphic representation intended to show the night view; the actual appearance may vary slightly in the real environment and other nearby lighting effects.





Existing Zoning

Semi-industry 6

Why City Planning Commission?

- §457.04 With respect to an application for the installation or retention of a sign which does not conform to the regulations of this section, the City Planning Commission shall approve such application if it determines that the sign, either alone or in combination with other signs, provides information which is sufficient to fulfill the stated purposes of this section, and that the sign meets the following standards, as applicable: *(Administrative approval does not apply)*
 - A. The sign is attached to the wall of a building and is better suited to the design of such building than a conforming sign would be; or
 - B. The sign meets a higher standard of design quality than would result from minimal conformance to the standards of this section; or
 - C. The sign has been designed so that it is more appropriate to its environs or the uses which it serves than a conforming sign would be; or
 - D. The sign is part of a comprehensive signage system for a large-scale complex of facilities, and such system meets the standards of division (e)(4); and
 - E. In the case of a new sign, the deviation from the otherwise applicable regulations of this section is the minimum necessary to meet one (1) or more of the special standards established for approval of nonconforming signs.
-

Variances Required

Paid Parking Signage:

- **International Parking Symbol § 457.04 (e) (1)**
 - To be displayed as a white letter "P" at, placed on a purple (PMS #2685) circular background.
- **Proposing two 4 sqft signs**
- Two signs require variance for brown letter "P" (Pantone 732 C) on a brown (Pantone 7525 C) circular background.

SCOPE:

- Manufacture & Install

Description/Details:

CABINET:

- 24" Diameter, 6" Deep Aluminum Cabinet Painted Black
- Copy to be Routed Aluminum Faces Painted Brown
- 1/2" Clear Acrylic Push Through Logo "P" Applied translucent vinyl graphics on second surface Front only, Sides to be Clear for Halo effect
- Pattern to be Digitally Printed Applied Vinyl Graphics
- White Internal LED Illumination
- Blade sign mounting; (2) 2" x 2" Aluminum Tubes & (2) 4" H x 4" W x 1/2" Thick Concealed Mounting Plate Painted Black

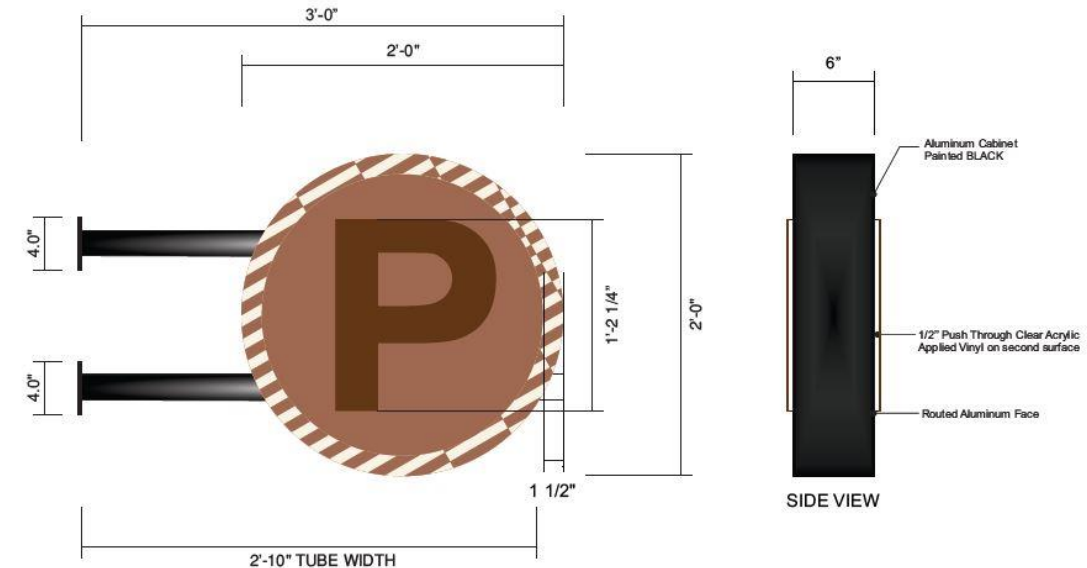
Color Specs:

■ BLACK
■ PANTONE 7525 C
■ PANTONE 732 C
□ PANTONE 7506 C 35%

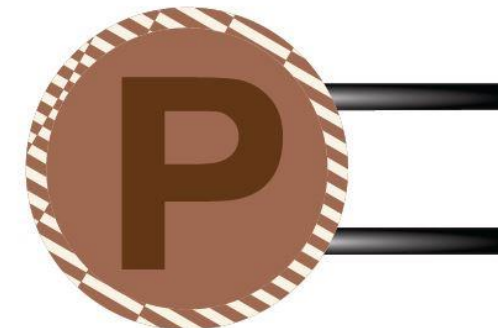


This is a graphic representation intended to show the night view; the actual appearance may vary slightly in the real environment and other nearby lighting effects.

NOTE: INSTALLED 11' FROM BOTTOM EDGE TO GRADE



SCALE: 1-1/2" = 1'
FRONT VIEW



SHEET TITLE
SIGN 3: D/S INTERNALLY ILLUMINATED BLADE SIGN

QTY
02

Standards for Approval of Nonconforming Signs

- A. The sign is attached to the wall of a building and is better suited to the design of such building than a conforming sign would be; or
- B. The sign meets a higher standard of design quality than would result from minimal conformance to the standards of this section; or
- C. The sign has been designed so that it is more appropriate to its environs or the uses which it serves than a conforming sign would be; or
- D. The sign is part of a comprehensive signage system for a large-scale complex of facilities, and such system meets the standards of division (e)(4); and
- E. In the case of a new sign, the deviation from the otherwise applicable regulations of this section is the minimum necessary to meet one (1) or more of the special standards established for approval of nonconforming signs.





SOMERAROAD
1060 bOLIVAR rD,
Cleveland, OH 44115 US

SIGNAGE PROPOSAL

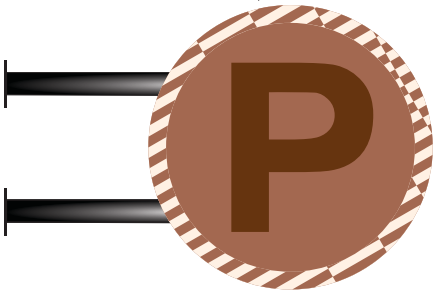
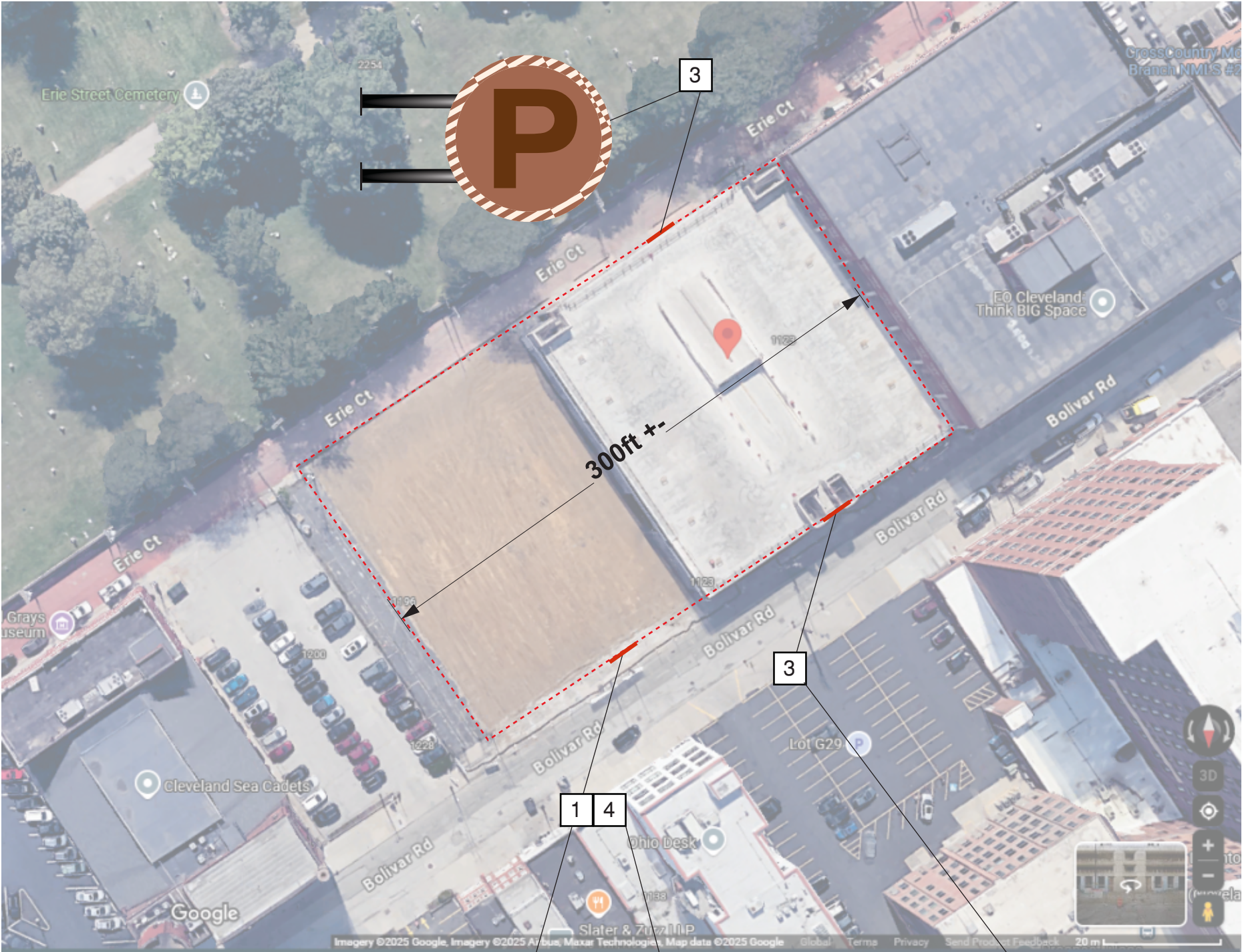
PROJECT NUMBER: P71059
DATE CREATED: 02.28.2025

LEGEND		QTY
1	CHANNEL LETTER SIGN	01
3	BLADE SIGN	02
4	DOOR VINYL GRAPHICS	01

KEY

SIGN LOCATION 

BUILDING OUTLINE 




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DESIGNER	SYED RAFAIN SHAH
PROSPECT/CLIENT	SomeraRoad
PROJECT NUMBER	P71059
PROJECT	Exterior Signage
PROJECT MANAGER	Muhammad Tariq Ali
SALES REP	Vince Dillonno
PROJECT LOCATION	1060 Bolivar Rd Cleveland, OH 44115 US
DATE CREATED	17.01.2025
PAGE	2

REVISIONS

DATE: 02.28.2025	The Sign Converted into Acrylic pushthru Aluminum Cabinet Sign
DATE: 04.21.2025	
DATE: 06.24.2025	



<div><div></div><div>BLINKSIGNS</div></div> <div>1925 St. Clair Ave NE Cleveland, OH 44114 (877) 433-4466 (216) 503-2568 www.blinksigns.com</div>	
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PAGE
2

REVISIONS
DATE: 02.28.2025
The Sign Converted into Acrylic pushthru Aluminum Cabinet Sign
DATE: 04.21.2025
DATE: 06.24.2025

SCOPE:
- Manufacture and Install

Description/Details:

- 3" Deep Aluminum Returns Painted Black
- 1" Trim Caps Painted Black
- 3/16" Thick Acrylic Face with Translucent Vinyl Graphics
- LED Illumination
- Mounted with Canopy using 2 1/2" Rails and angle iron

BOLIVAR

- 3" Deep Aluminum Returns Painted Black
- 1" Trim Caps Painted Black
- 3/16" Thick Acrylic Face with Translucent Vinyl Graphics
- LED Illumination
- Mounted with Canopy using 2 1/2" Rails and angle iron

Color Specs:

PANTONE 7525 C

BLACK

WHITE

City Code:

- Width of Building x 1
- 150 x 1 = 150 SF



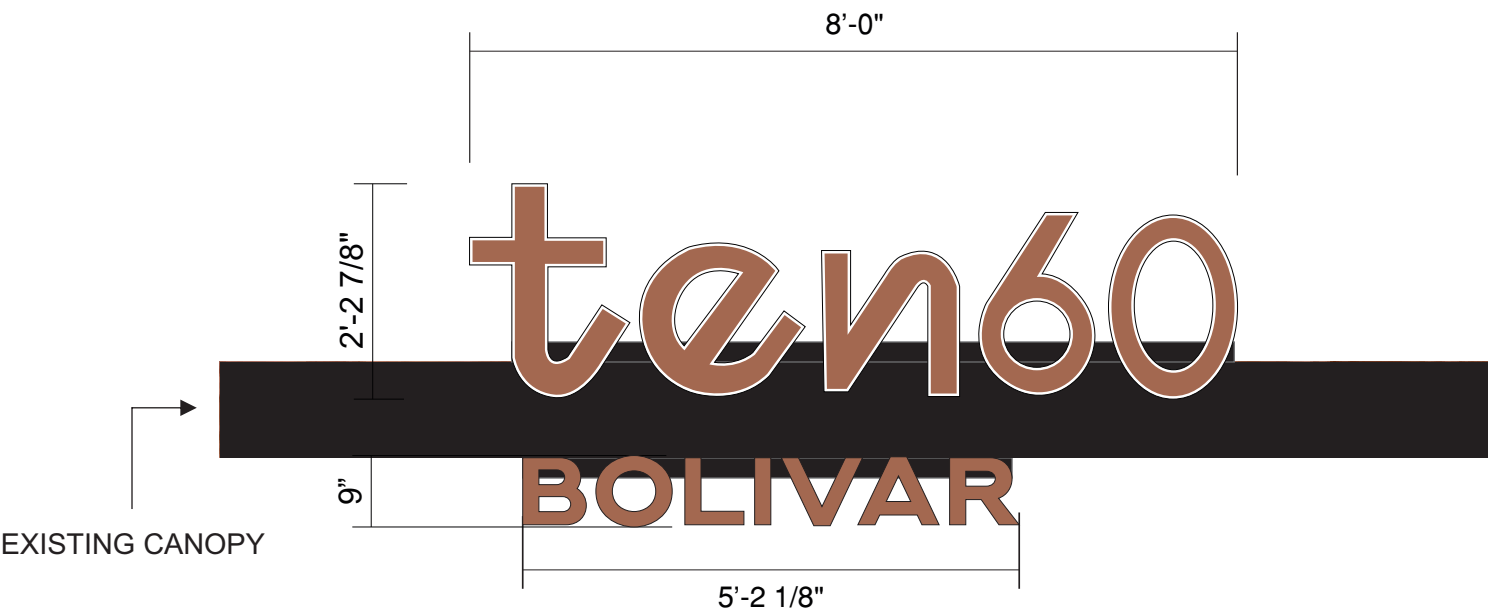
NIGHT VIEW



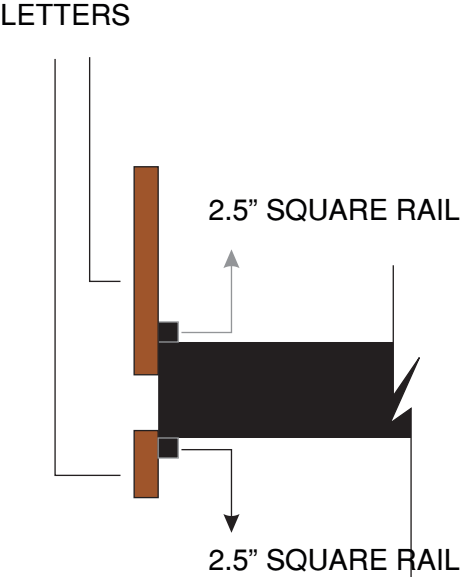
BEFORE



AFTER



SCALE: 1/2"=1'
SIGN AREA : 24 SF



SIDE VIEW

SHEET TITLE
SIGN 1: FRONT LIT CHANNEL LETTERS

QTY
01



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DESIGNER

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PROSPECT/CLIENT

SomeraRoad

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PROJECT

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PROJECT MANAGER

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SALES REP

Vince Dilonno

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DATE CREATED

17.01.2025

PAGE

3

REVISIONS

DATE: 02.28.2025

The Sign Converted into Acrylic pushthru Aluminum Cabinet Sign

DATE: 04.21.2025

DATE: 06.24.2025

SCOPE:
- Manufacture and Install

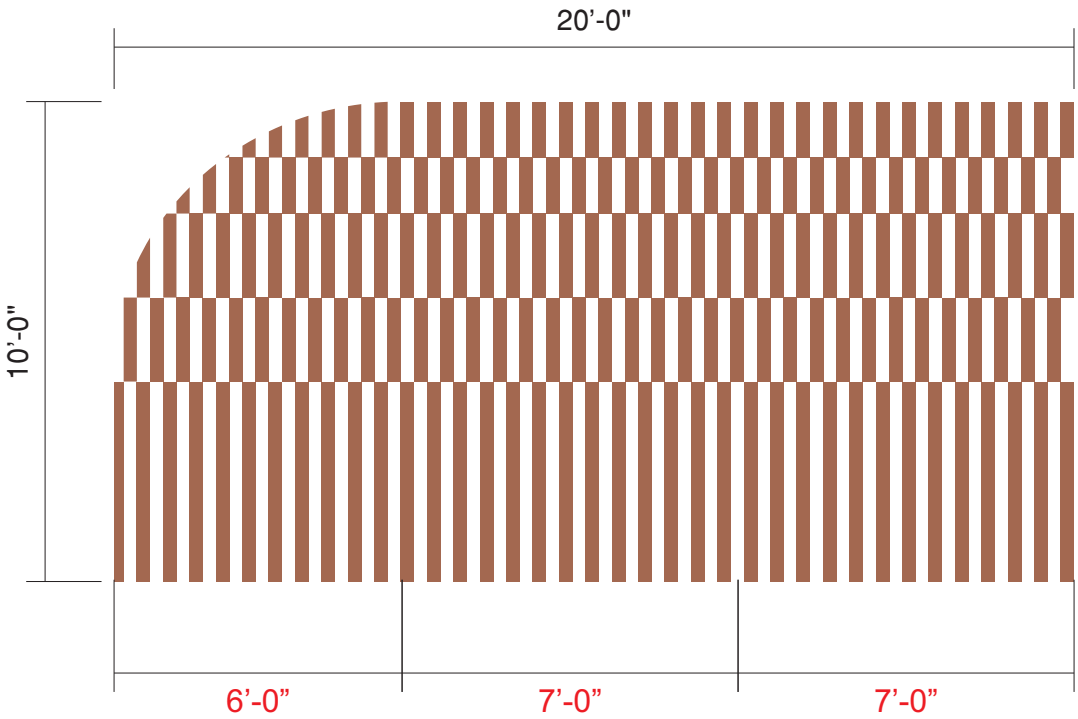
Description/Details:
- Vinyl Graphics Applied on First Surface
the wall

Color Specs:
 PANTONE 7525 C

INTERIOR SIGN



EXACT DIMENSIONS FOR EACH PART ARE REQUIRED TO ENSURE THE INSTALLED VINYL MATCHES THE INTENDED APPEARANCE SHOWN IN THE DRAWING.
ANY DEVIATION COULD RESULT IN A DIFFERENT LOOK ONCE INSTALLED.



SCALE: 1/4" = 1'

SHEET TITLE
SIGN 2: ADHESIVE WALL VINYL GRAPHICS

QTY
01

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NORTH ELEVATION

BEFORE



AFTER

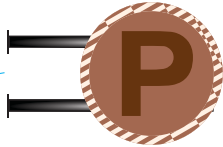


SOUTH ELEVATION

BEFORE



AFTER



NOTE: INSTALLED 11’ FROM BOTTOM EDGE TO GRADE

SCOPE:

- Manufacture & Install

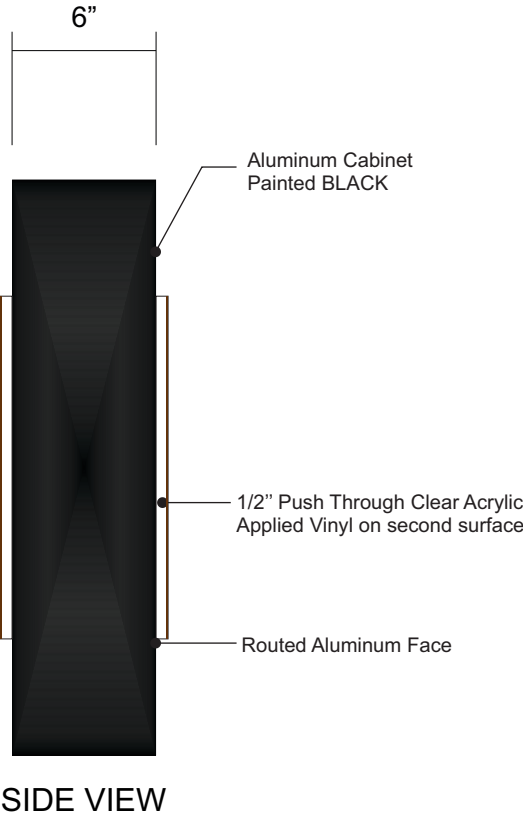
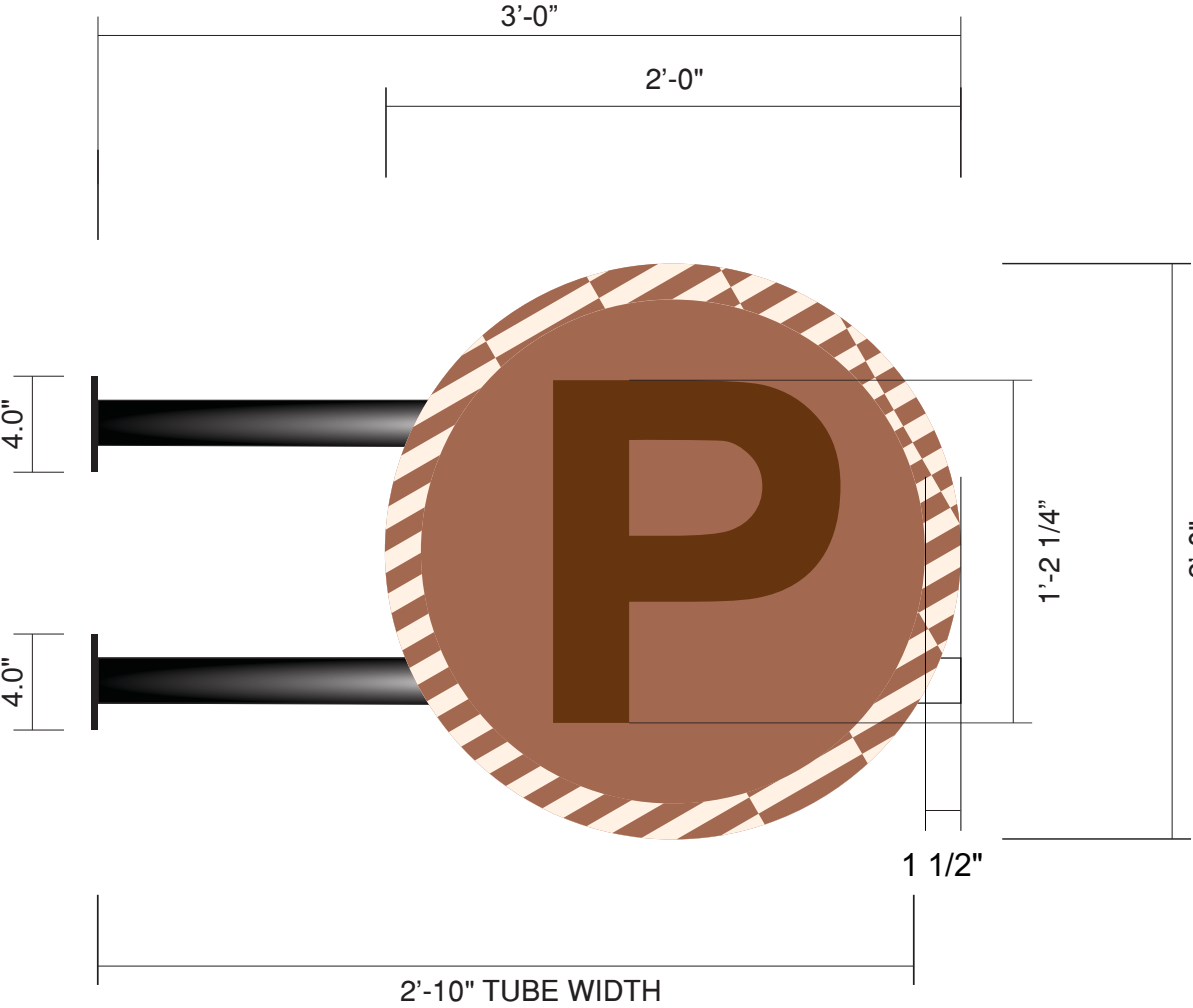
Description/Details:

CABINET:

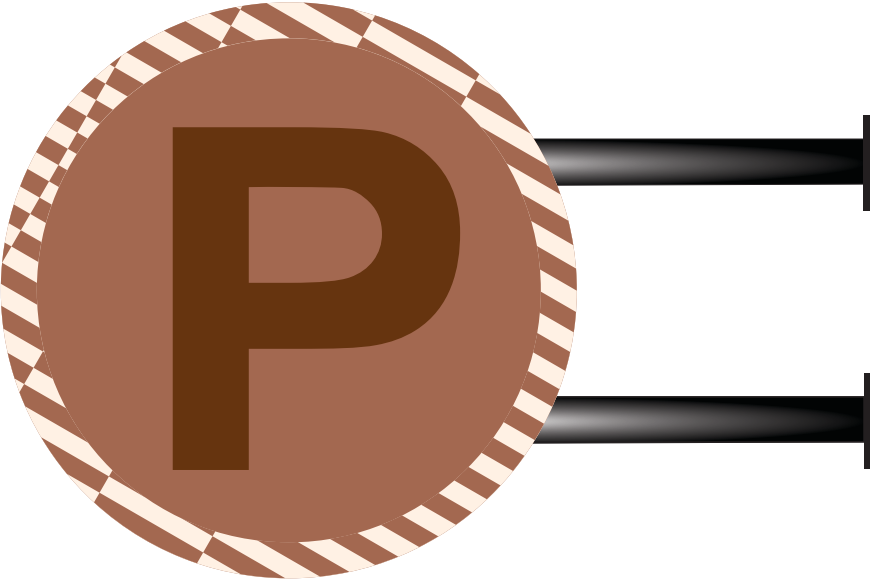
- 24" Diameter, 6" Deep Aluminum Cabinet Painted Black
- Copy to be Routed Aluminum Faces Painted Brown
- 1/2" Clear Acrylic Push Through Logo "P" Applied translucent vinyl graphics on second surface Front only, Sides to be Clear for Halo effect
- Patter to be Digitally Printed Applied Vinyl Graphics
- White Internal LED Illumination
- Blade sign mounting: (2) 2" x 2" Aluminum Tubes & (2) 4" H x 4" W x 1/2" Thick Concealed Mounting Plate Painted Black

Color Specs:

- BLACK
- PANTONE 7525 C
- PANTONE 732 C
- PANTONE 7506 C 35%



SCALE: 1-1/2" = 1'
FRONT VIEW



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DATE: 04.21.2025
DATE: 06.24.2025

SCOPE:
- Manufacture and Install

Description/Details:
- Die Cut Vinyl Graphics

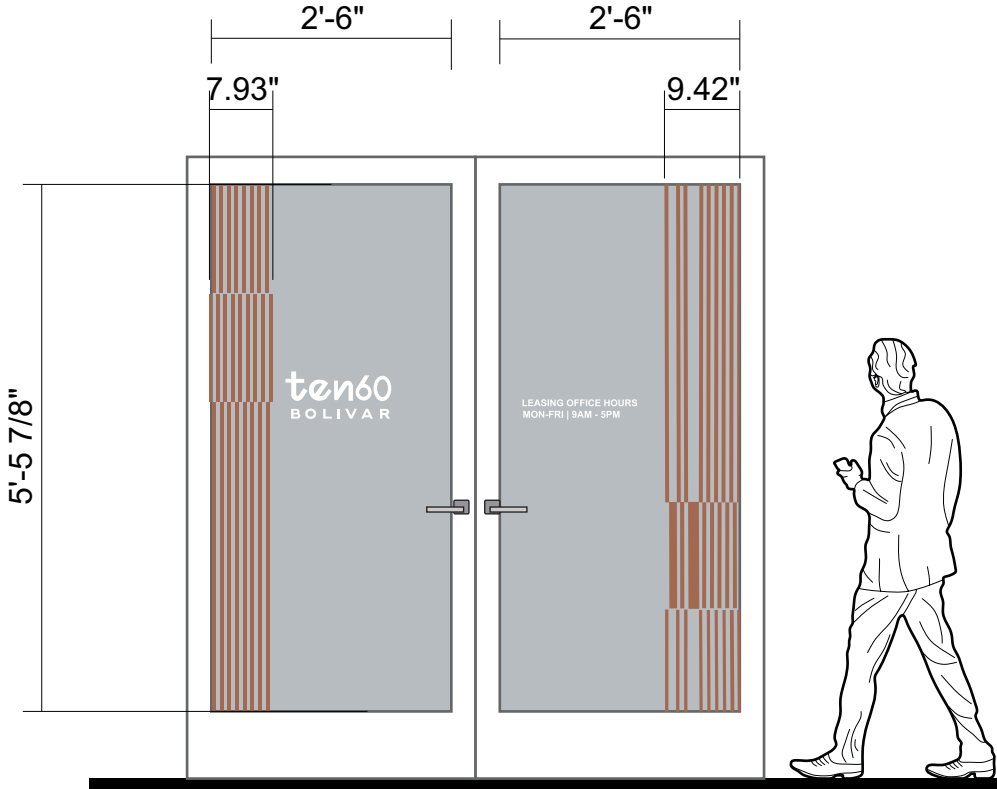
VINYL GRAPHICS DOOR GLASS SIGN

NOTE: EXISTING DOOR PHOTO REQUIRED

Color Specs:

PANTONE 7525 C

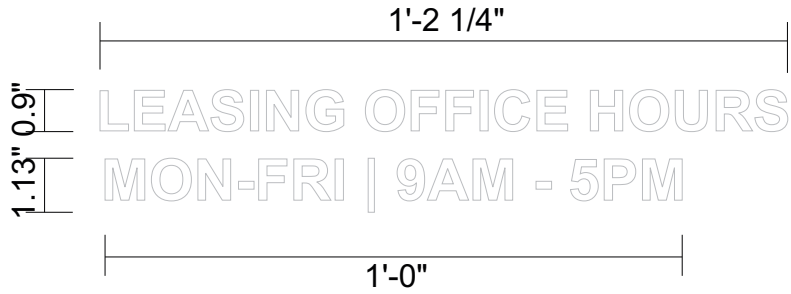
WHITE



SCALE: 1/2" = 1'-0"



SCALE: 3" = 1'-0"



SCALE 1:4



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DATE: 06.24.2025

SHEET TITLE	QTY
SIGN 4 : DOOR VINYL GRAPHICS	EACH 1

DF2025-028 – Ten60 Bolivar Signage

August 15, 2025

Design Review Advisory Committee:

DFDRAC recommended final approval with conditions on 7/10/25:

- Verify code compliancy for use of International Parking "P" symbol color

City Planning Staff:

Staff recommends approval. Applicant to provide all applicable code required signage for paid public parking per Section 457. Requesting that updates be administratively reviewed with Staff.

Cleveland City Planning Commission

Administrative Approvals



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

Ord. No. 719–2025 (introduced by Council Members Santana, Bishop, and Hairston – by departmental request) Authorizing the Director of Capital Projects to issue a permit to the Northeast Ohio Hispanic Center for Economic Development (NEOHCED) to encroach into the public right-of-way of West 25th Street by installing, using, and maintaining bollards along the building frontage.

August 15, 2025

Ord. No. 808-2025 (introduced by Council Members Hairston, Polensek, and Griffin – by departmental request) To supplement the Codified Ordinances of Ohio, 1976, by enacting new Section 401.711, relating to the definition of under-speed vehicles; and to enact new Sections 450.01 to 450.06 and 450.99 relating to under-speed vehicles.

August 15, 2025

Ord. No. 960–2025 (introduced by Council Members Starr, Hairston, and Griffin – by departmental request) To repeal Ordinance No. 40–2025, passed March 31, 2025, relating to a ground lease with Rust Belt Riders Composting, LLC for the use and occupancy of property located on East 79th Street to consolidate its composting facility operations and to install a retail operation at the location.

August 15, 2025

Ord. No. 961-2025 (introduced by Council Members Starr, Hairston, and Griffin – by departmental request) Authorizing the Commissioner of Purchases and Supplies to sell City-owned property no longer needed for public use located on Esat 79th Street to Rust Belt Riders Composting, LLC, or its designee.

August 15, 2025

Ord. No. 980–2025 (introduced by Council Members McCormack, Bishop, and Hairston – by departmental request) To vacate all of Joy Court and Day Alley.

August 15, 2025

Ord. No. 984-2025 (introduced by Council Members Hairston and Griffin – by departmental request) To amend Section 173.65 of the Codified Ordinances of Cleveland, Ohio, 1976, as amended by Ordinance No, 770-2021, passed September 20, 2021, relating to the City Planning Commission.

August 15, 2025

Ord. No. 986-2025 (introduced by Council Members McCormack, Bishop, and Griffin – by departmental request) Authorizing the Director of Capital Projects or Parks and Recreation, as appropriate, to enter into one or more agreements with the Board of Park Commissioners of the Cleveland Metropolitan Park District, or their designee, for the development of the Irishtown Bend Park and trail; and authorizing one or more agreements with Metroparks for a period up to ninety-nine years for the lease, operation, and maintenance of the improvement.

August 15, 2025

Ord. No. 988–2025 (introduced by Council Members Hairston and Griffin – by departmental request) To amend Sections 1 and 3 of Ordinance No. 1071–2021, passed December 6, 2021, relating to approving the addition of certain property to the Northeast Ohio Advanced Energy District and providing for the assessments of the cost of the special energy improvement project in the District.

August 15, 2025

Res. No. 989–2025 (introduced by Council Members Spencer, Hairston, and Griffin – by departmental request) Approving the report of the Assessment Equalization Board on objections concerning estimated assessments with respect to the re-creation of the Gordon Square Arts District – Cleveland Improvement Corporation; determining to proceed with the plan to provide public services within the District; adopting the assessments; levying the assessments; and authorizing the City to enter into an agreement with Gordon Square Arts District – Cleveland Improvement Corporation.

August 15, 2025

Ord. No. 993-2025 (introduced by Council Members Polensek, Bishop, and Griffin – by August 15, 2025
departmental request) Authorizing the Director of Capital Projects to enter into one or more agreements with Cuyahoga County and/or the Board of Park Commissioners of the Cleveland Metropolitan Park District, if necessary, relating to the construction and ongoing maintenance of improvements along the Lake Erie Shoreline, known as the Euclid Beach Connector Trail Project; to grant and accept easements and to enter into submerged land leases with the State of Ohio, for a term up to fifty years; and authorizing the Director of Public Works, Parks and Recreation, or appropriate director, to enter into an amendment to the Lakefront Parks Lease with the Metroparks to include the project area.

Cleveland City Planning Commission

Special Presentations (for information only)



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

Downtown Surface Parking Lots – Dan Shinkle, Principal Planner

August 15, 2025





CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland City Planning Commission

Downtown Surface Parking Lots

August 15, 2025



Downtown Surface Parking Lots

Agenda

- Review of Zoning Code & Surface Parking Lots in Designated Districts
- Permits, Proposals, and Recent Demolitions
- Tax Implications
- Historic Demolitions & Existing Surface Parking Lots
- New Development
- Other Stadium Districts



Zoning Code: CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

(a) *Purposes.*

(1) The principal purpose of this section is to preserve the urban architectural character of the most intensively developed portions of downtown Cleveland by limiting the establishment and expansion of surface parking lots within these districts.

(2) A secondary purpose is to reduce auto emissions and traffic congestion in the downtown area by discouraging creation of additional parking.

(3) Furthermore, this section is intended to accomplish these purposes without discouraging new development.

(b) *Applicability.* This section shall apply only to land or property located within the districts hereafter described and thereafter referred to as the “designated districts”:

(1) The Downtown Core Parking District, Warehouse Parking District, Erieview Parking District, and Gateway Parking District, as established in division (b) of Section 457.035 of the Codified Ordinances; and

(2) The Cleveland State University Parking District, described as follows:

Beginning at the point of intersection of the center line of Payne Avenue N.E. with the center line of East 18 Street; thence southerly along said center line of East 18 Street to its intersection with the center line of Brownell Court, S.E.; thence easterly along said center line of Brownell Court, S.E. to its intersection with a line located one hundred thirty two (132) feet east of the easterly line of East 18 Street; thence southerly along said line which is parallel to and one hundred thirty two (132) feet east of said easterly line of East 18 Street to its intersection with the center line of Prospect Avenue, S.E.; thence westerly along said center line of Prospect Avenue, S.E. to its intersection with the center line of East 18 Street; thence southerly along said center line of East 18 Street to its intersection with the center line of East 14 Street; thence southerly along said center line of East 14 Street to the center line of the Inner Belt Freeway; thence Easterly and Northerly along the center line of the Inner Belt Freeway to its intersection with the center line of Payne Avenue N.E. thence westerly along the center line of Payne Avenue N.E.; to the place of beginning.

(c) *Definition.* For purposes of this section, a “surface parking lot” is an off-street parking area which is located at street-grade level and which is not enclosed within a garage structure. The unenclosed roof surface of a garage shall not be considered a “surface parking lot” if such surface is located at least one (1) story above grade level on at least one (1) of its frontages.

(d) *Prohibition.* Notwithstanding other provisions of the Zoning Code, no surface parking lot shall be established or expanded within the designated districts except as approved by the City Planning Commission in accordance with this section.

(e) *Planning Commission Determination.* The City Planning Commission shall approve building permit applications for the establishment or expansion of surface parking lots in the designated districts only in accordance with the following provisions:

(1) *Temporary Parking Lots.* If the City Planning Commission or Landmarks Commission, as applicable, has approved demolition of a building within the designated district(s) and has approved, in accordance with the regulations of Sections 341.04 and 341.05 or Section 161.05, as applicable, plans for a new building or other non-parking use to replace such building, the subject property may be used as a surface parking lot for a maximum period of one (1) year following the demolition of the building. If all necessary redevelopment permits have not been obtained within one (1) year of the commencement of surface parking use, the property shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission.

The Commission may, however, approve a request by the owner to extend use of the parking lot for a single period not greater than one (1) year in duration if the Commission determines that the owner has made a “good

faith effort” to secure the approved redevelopment. During the time period of such extension, the Commission and the owner shall undertake discussions regarding efforts to facilitate appropriate redevelopment of the property. At the conclusion of the extension period, the property either shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission or, alternatively, the owner may seek a variance from the Board of Zoning Appeals in accordance with the provisions of division (h) of this section.

(2) *Accessory Parking.* Establishment or expansion of a surface parking lot within the designated districts shall be permitted if the City Planning Commission determines that the lot will be used exclusively for accessory parking spaces to serve a new use or uses proposed for a development, expansion or redevelopment project which has been approved by the City Planning Commission or Landmarks Commission, as applicable, but which has not yet been completed. The number of parking spaces in such accessory lot shall not be greater than one hundred twenty percent (120%) of the number of spaces which would be required for such use by the City’s Zoning Code.

(3) *Action Areas.* The City Planning Commission shall approve an application for a surface parking lot if the subject property has been designated for surface parking as part of an “action area” (as defined in Section 315.03) of a community development plan adopted by Council in the manner set forth in Title V of the Codified Ordinances.

(4) *Vacant Lots.* On any vacant lot which was vacant on the initial effective date of this section, a surface parking lot shall be permitted, in accordance with all applicable City regulations.

(f) *Existing Surface Lots.* Within the designated districts, surface parking lots legally established or approved prior to the initial effective date of this section shall be considered legal nonconforming uses and may be maintained, repaired and improved in accordance with otherwise applicable City regulations. No such lot shall be expanded without approval of the City Planning Commission, in accordance with the provisions of this section.

(g) *Variances for Establishment of Parking Lots.* In the case of a request for a variance to permit establishment of a surface parking lot which is prohibited by regulations of this section, the Board of Zoning Appeals shall grant such variance only if it determines that denial of the variance would deprive the owner of all reasonable economic use of the subject property. In making this determination, the Board may seek the advice of experts in relevant fields and shall consider the potential for long-term as well as short term economic gain.

(h) *Variances for Temporary Lots.* In the case of a request for a variance to extend the use of a parking lot approved under division (e)(1) of this section, the Board of Zoning Appeals shall grant such extension only if it determines that redevelopment of the subject property has been delayed by circumstances which are beyond the control of the owner and which would be present regardless of the particular ownership of the property. In such cases, the Board shall not grant an extension for a period greater than one (1) year in duration. The property owner may return to the Board for consideration of further extensions if said circumstances persist.

(Ord. No. 1465-97. Passed 12-15-97, eff. 12-22-97)



Zoning Code:

CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

“(a) Purposes.

(1) The principal purpose of this section is to **preserve the urban architectural character of the most intensively developed portions of downtown Cleveland by limiting the establishment and expansion of surface parking lots within these districts.**

(2) A secondary purpose is to **reduce auto emissions and traffic congestion** in the downtown area by discouraging creation of additional parking.

(3) Furthermore, this section is intended to accomplish these purposes **without discouraging new development.”**

Zoning Code:

CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

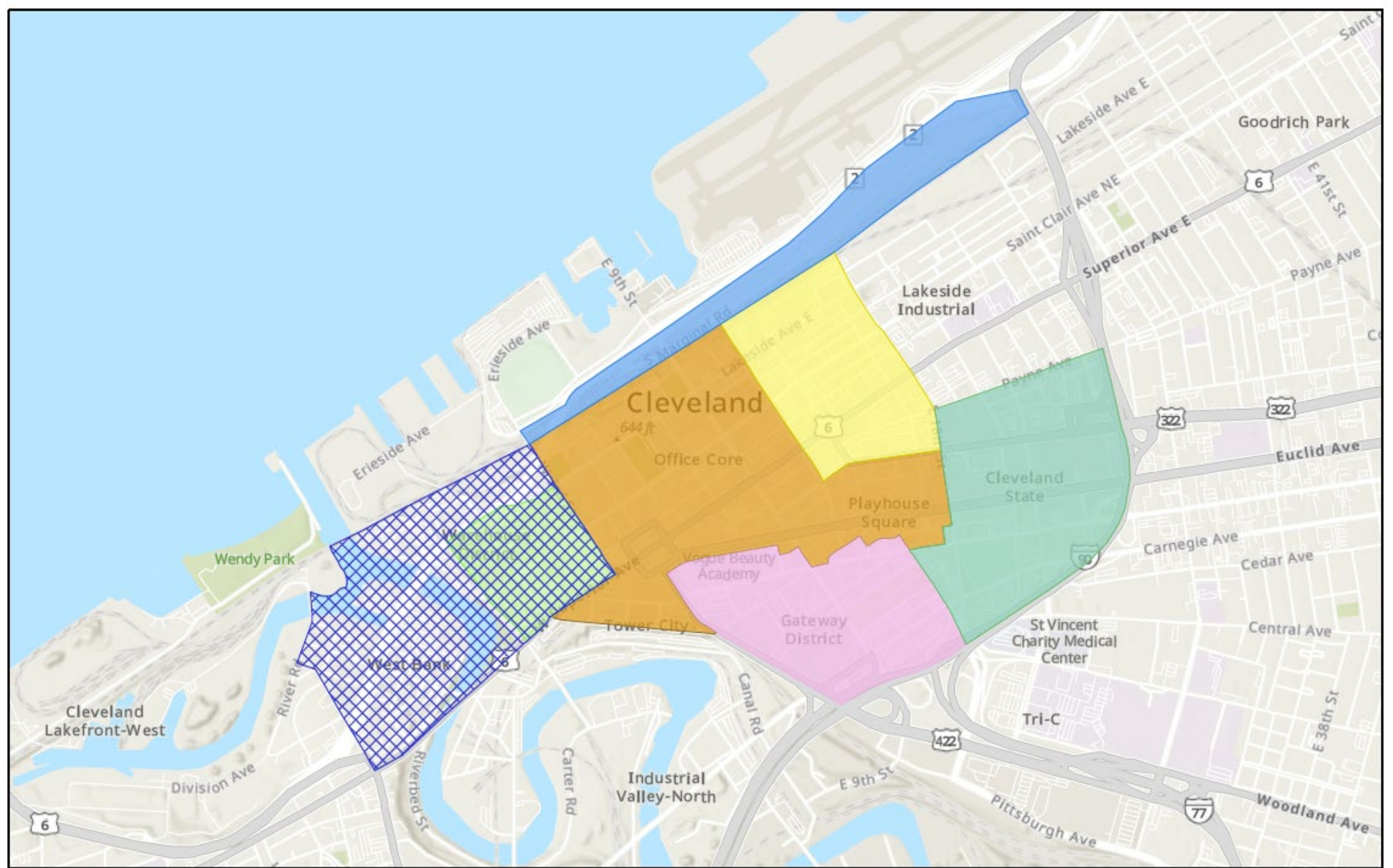
*“(b) Applicability. This section shall apply only to land or property located within the districts hereafter described and thereafter referred to as the “**designated districts**”:*

(1) The Downtown Core Parking District, Warehouse Parking District, Erieview Parking District, and Gateway Parking District... and

(2) The Cleveland State University Parking District.”

Designated Downtown Districts


- **Core**
- **Warehouse**
- **Flats**
- **Lakefront**
- **Erievue**
- **Gateway**
- **CSU**





8/13/2025


Downtown Parking Districts

 Cleveland State University Parking District

 Downtown Core Parking District

 Downtown Lakefront Parking District

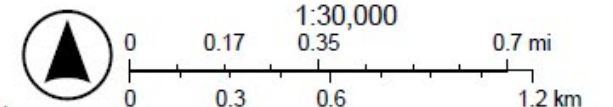
 Erieview Parking District

 Warehouse Parking District

Flats Parking District

Gateway Parking District

World Hillshade



Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User

Cleveland City Planning

Zoning Code:

CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

“(c) **Definition.** For purposes of this section, a “surface parking lot” is an off-street parking area which is located **at street-grade level** and which is **not enclosed within a garage structure**. The unenclosed roof surface of a garage shall not be considered a “surface parking lot” if such surface is located at least one (1) story above grade level on at least one (1) of its frontages.”

Zoning Code:

CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

“(d) **Prohibition.**”

Notwithstanding other provisions of the Zoning Code, **no surface parking lot shall be established or expanded within the designated districts except as approved by the City Planning Commission in accordance with this section.**”

City Planning Commission – Authority & Restrictions

Four (4) Options

*“(e) Planning Commission Determination. The City Planning Commission shall approve building permit applications for the establishment or expansion of surface parking lots in the designated districts **only** in accordance with the following provisions:”*

(1) Temporary Parking Lots.

(2) Accessory Parking.

(3) Action Areas.

(4) Vacant Lots.

City Planning Commission – Authority & Restrictions

OPTION 1: Temporary Lot

- **Demolition** of existing building
 - New building or other non-parking use **must be approved first**
 - Then temporary surface lot is allowed for one (1) year
- If **permits** for redevelopment **not obtained** within one (1) year:
 - Property shall be **landscaped as open space** or
 - Converted to **another non-parking use**, as approved by the Commission.

*“If the City Planning Commission or Landmarks Commission, as applicable, has **approved demolition** of a building within the designated district(s) **and** has **approved**, in accordance with the regulations of Sections 341.04 and 341.05 or Section 161.05, as applicable, **plans for a new building or other non-parking use** to replace such building, the subject property may be used as a surface parking lot for a **maximum period of one (1) year** following the demolition of the building. If all necessary redevelopment permits have not been obtained within one (1) year of the commencement of surface parking use, the property shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission.”*

City Planning Commission – Authority & Restrictions

OPTION 1: Temporary Lot – One (1) Year Relief

- Can grant extension, **not greater than one (1) year**
 - If Owner has made “good faith effort”
- If **permits** for redevelopment **not obtained** within additional one (1) year:
 - Property shall be **landscaped as open space** or
 - Converted to **another non-parking use**, as approved by the Commission.

“The Commission may, however, approve a request by the owner to **extend use of the parking lot** for a single period **not greater than one (1) year** in duration if the Commission determines that the owner has made a “**good faith effort**” to secure the approved redevelopment. During the time period of such extension, the Commission and the owner shall undertake discussions regarding efforts to facilitate appropriate redevelopment of the property. At the conclusion of the extension period, the property either **shall be landscaped as open space** or **shall be converted to another appropriate non-parking use** in accordance with a site plan approved by the Commission or, alternatively, the owner **may seek a variance from the Board of Zoning Appeals** in accordance with the provisions of division (h) of this section.”



City Planning Commission – Authority & Restrictions

OPTION 2: Accessory Parking

- **Exclusively** used for accessory parking
- Serve a **new use** that has not yet been completed:
 - New Development
 - Expansion
 - Redevelopment
- New use **must be approved by Commission**

*“(2) Accessory Parking. Establishment or expansion of a surface parking lot within the designated districts shall be permitted if the City Planning Commission determines that the lot **will be used exclusively for accessory parking** spaces to **serve a new use or uses proposed for a development, expansion or redevelopment** project which has been **approved by the City Planning Commission or Landmarks Commission**, as applicable, but which has not yet been completed. The number of parking spaces in such accessory lot shall not be greater than one hundred twenty percent (120%) of the number of spaces which would be required for such use by the City’s Zoning Code.”*



City Planning Commission – Authority & Restrictions

OPTION 3: Action Areas

- Designated as a surface lot in a **Community Development Plan**
- **Adopted by Council**

*“(3) Action Areas. The City Planning Commission shall approve an application for a surface parking lot if the subject property **has been designated for surface parking as part of an “action area”** (as defined in Section 315.03) [CHAPTER 315 – ADOPTION OF PLAN] of a **community development plan adopted by Council** in the manner set forth in Title V of the Codified Ordinances.”*



City Planning Commission – Authority & Restrictions

OPTION 4: Vacant Lot

- Vacant Lot **existing prior to 12-22-97**

*“(4) Vacant Lots. On any vacant lot **which was vacant on the initial effective date** of this section, a surface parking lot shall be permitted, in accordance with all applicable City regulations.”*

*(Ord. No. 1465-97. Passed 12-15-97, **eff. 12-22-97**)*

City Planning Commission – Authority & Restrictions

Provision for **Existing** Surface Lots

- Existing lots **established prior to 12-22-97**
- Legal nonconforming (maintenance allowed)
- Shall not be expanded

“(f) Existing Surface Lots. Within the designated districts, surface parking lots legally established or approved prior to the initial effective date of this section shall be considered legal nonconforming uses and may be maintained, repaired and improved in accordance with otherwise applicable City regulations. No such lot shall be expanded without approval of the City Planning Commission, in accordance with the provisions of this section.”

(Ord. No. 1465-97. Passed 12-15-97, **eff. 12-22-97**)

Board of Zoning Appeals – **Variances**

- (g) Variances for **Establishment** of Parking Lots.
- (h) Variances for **Temporary** Lots.



Board of Zoning Appeals – Authority & Restrictions

Variance to Establish Lot

- Deprive Owner of all “**reasonable economic use**”
- Board seeks advice of “**experts in relevant fields**”
 - Considers **short- and long-term economic gain**.

“(g) Variances for **Establishment** of Parking Lots. In the case of a request for a variance to permit establishment of a surface parking lot which is prohibited by regulations of this section, the Board of Zoning Appeals shall grant such variance **only** if it determines that denial of the variance would deprive the owner of all reasonable economic use of the subject property. In making this determination, the Board may seek the advice of experts in relevant fields and shall consider the potential for long-term as well as short term economic gain.”

Board of Zoning Appeals – Authority & Restrictions

Variance for Extension of Temporary Lot

- Delayed by circumstances **beyond their control** and,
 - which would be **present regardless of particular Ownership.**
- Extension limited to one (1) year
- Owner may return to BZA if circumstances persist beyond one (1) year

*“(h) Variances for **Temporary** Lots. In the case of a request for a variance to extend the use of a parking lot approved under division (e)(1) of this section, the Board of Zoning Appeals shall grant such extension **only** if it determines that redevelopment of the subject property has been delayed by circumstances which are beyond the control of the owner and which would be present regardless of the particular ownership of the property. In such cases, the Board shall not grant an extension for a period greater than one (1) year in duration. The property owner may return to the Board for consideration of further extensions if said circumstances persist.”*



CITY OF CLEVELAND
Mayor Justin M. Bibb

Recent Snapshot



Policy Guidance Fact Sheet

- 1-pager
- Links to applicable resources
- Ease & efficiency
- Staff available to walk Applicants through all requirements



CITY OF CLEVELAND
Mayor Justin M. Bibb
CITY PLANNING

Page | 1

Calley Mersmann
Director

Policy Guidance for the Establishment of Surface Parking Lots in Downtown Cleveland

City of Cleveland Codified Ordinance [Section 349.14](#) governs the establishment of new or expanded surface parking lots in [designated districts](#) of Downtown Cleveland. This portion of the code was passed specifically to preserve the urban character of Downtown by limiting surface parking lots in the core of the city, and to reduce auto emissions and traffic congestion downtown without discouraging new development. The code lays out the following pathways for surface parking lots:

Surface parking lots within the Downtown Designated Districts may not be established or expanded, except with the approval of the City Planning Commission based on the following provisions:

- **Temporary approval while pursuing redevelopment:** If the City Planning Commission or Landmarks Commission approves demolition of a building with an approved plan for non-surface parking use, a temporary code-compliant surface lot may be established for up to 1 year following building demolition. After that year, the Owner may apply to the Planning Commission for a one-time extension of one additional year and the Commission may approve if they feel the Owner has made a good faith effort to redevelop the property into a non-surface parking use. If the Owner desires additional extensions, they must seek a variance from the Board of Zoning Appeals (BZA). To qualify for the variance, the Owner must show that the property's redevelopment has been delayed by circumstances beyond the Owner's control that are present regardless of the particular Ownership of the property. BZA may only grant extensions for a maximum of 1 year at a time. The Property Owner may return to BZA for multiple extensions. At the conclusion of the extension period(s), the property must be landscaped as open space or converted to a non-surface parking use following a site plan approved by the Planning Commission.
- **Accessory parking:** City Planning Commission may approve of a new or expanded surface parking lot if the lot will be used exclusively for accessory parking spaces to serve a new use proposed as part of a development approved by Planning Commission or Landmarks Commission. Accessory parking spaces are limited to no more than 120% of the number of parking spaces required by the City's zoning code. The accessory parking must be located on the same lot with the main use or building.
- **Vacant lots:** If the lot was vacant on December 22, 1997, when Section 349.14 went into effect, a surface parking lot is permitted.

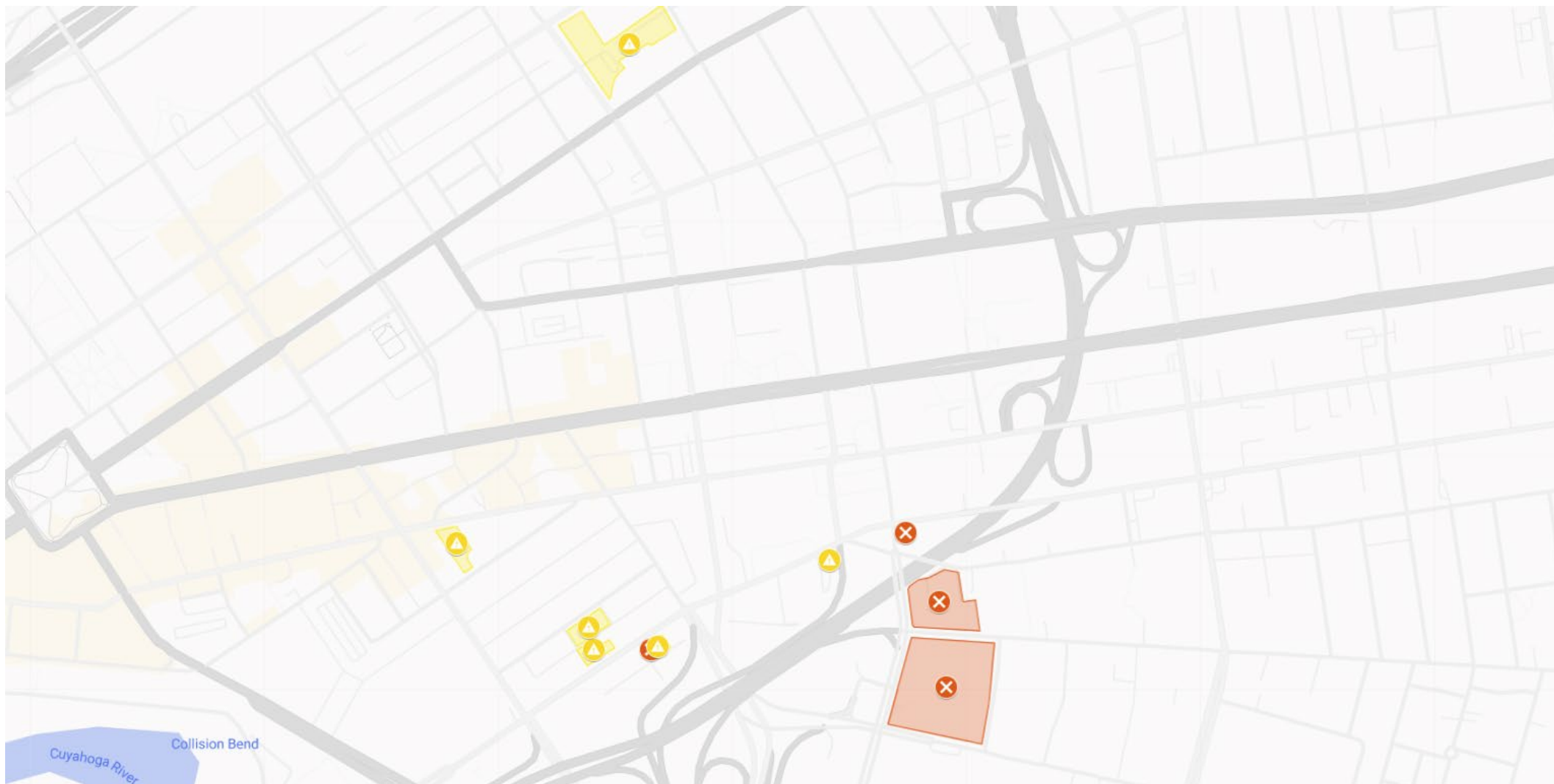
Property Owners who do not meet any of these provisions may request a variance from BZA to establish a new surface parking lot. The owner must demonstrate that they have explored other economic uses of the property and denial of the variance would deprive the owner of *all reasonable economic uses* of the property. BZA may seek external expertise and consider both short-term and long-term economic gain in making their determination.

If Property Owners receive approvals for a temporary or permanent surface parking lot, the resulting lot must comply with all applicable zoning and building standards, including surface treatments, grading, drainage, screening, lighting, etc.

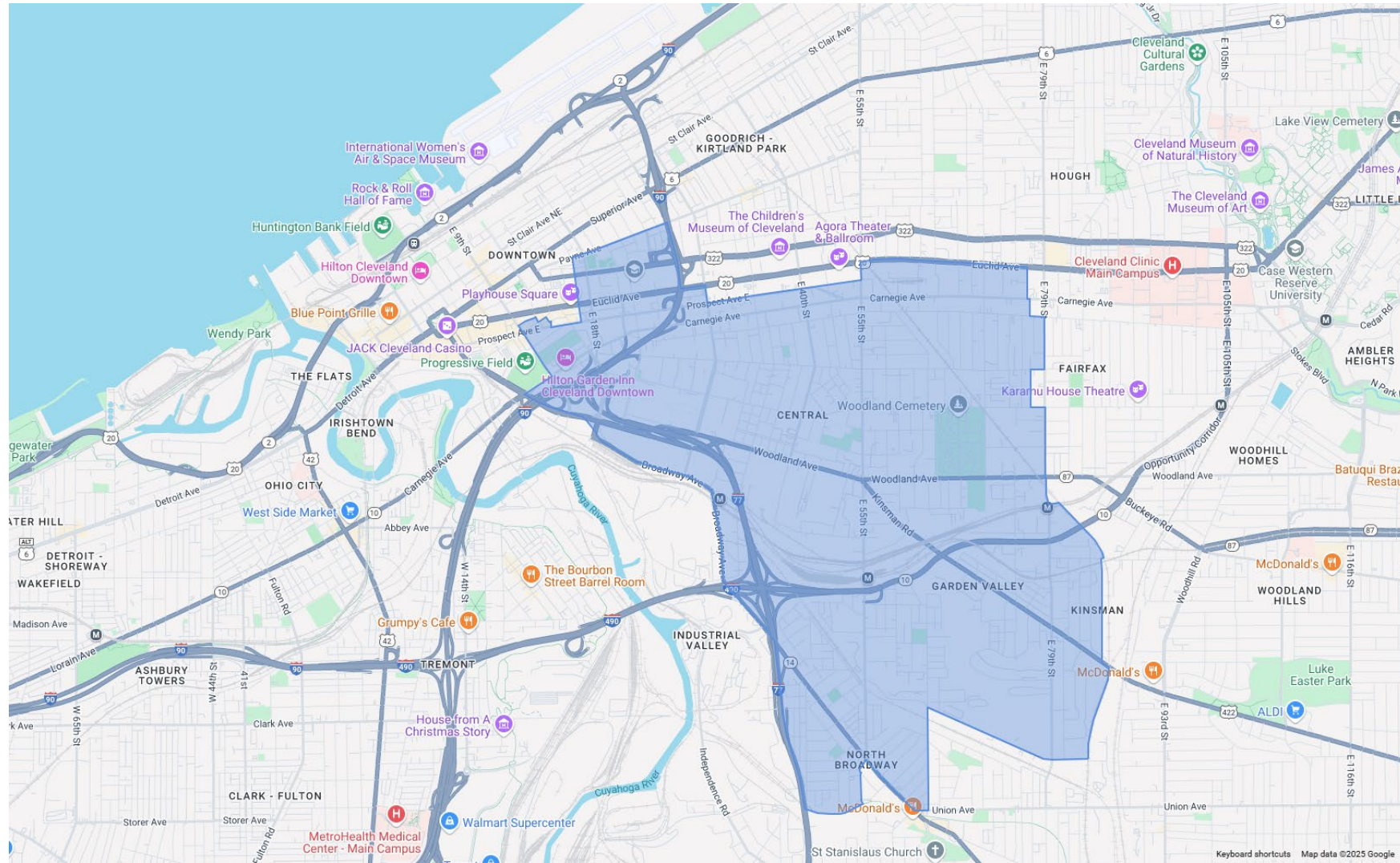
601 Lakeside Ave. E. | Room 501 | Cleveland, OH 44114 | T: 216-664-2210 | clevelandohio.gov



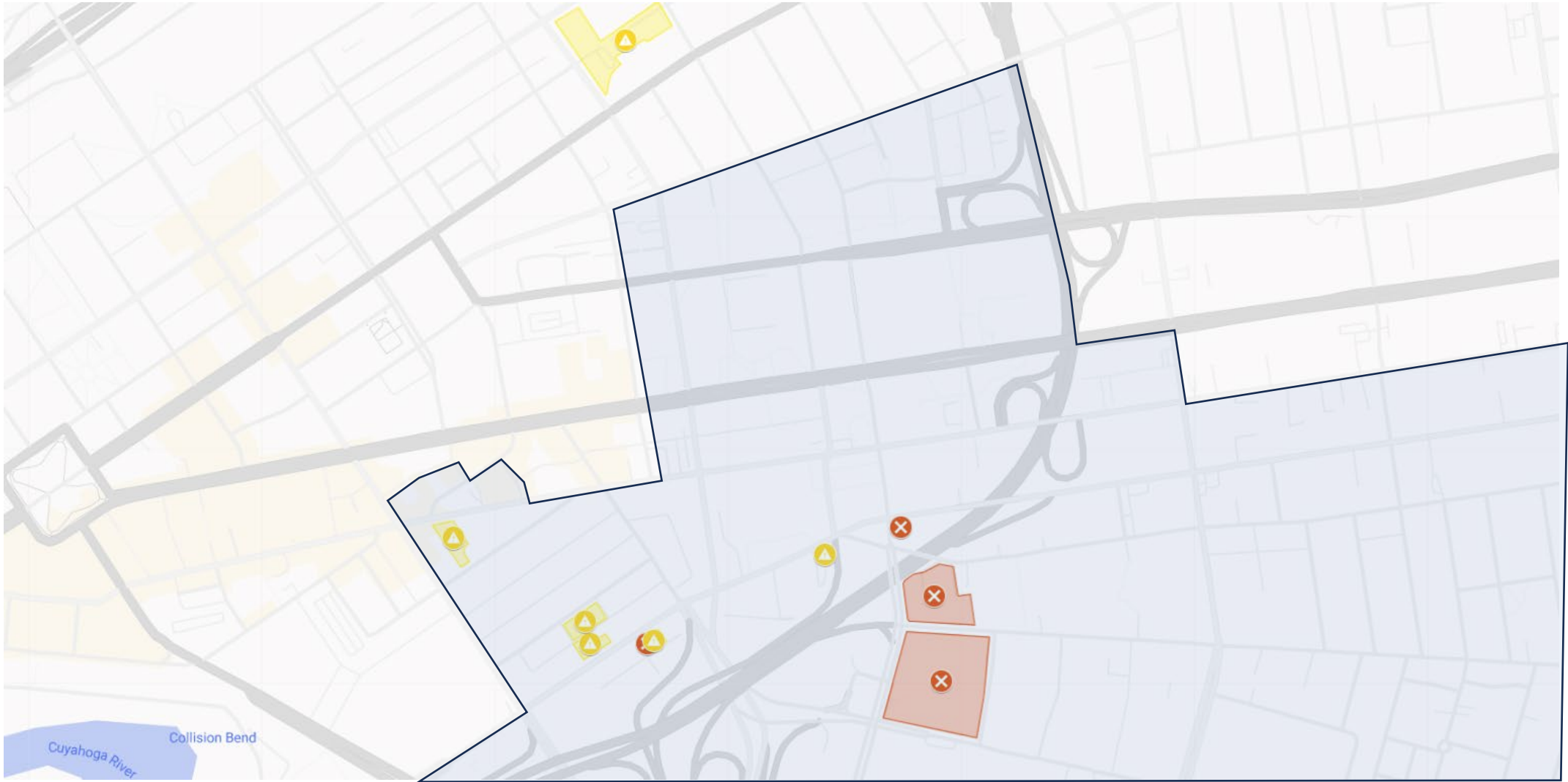
Recent Permit Requests, Proposals, & Approved Demolitions



Ward 5 – Councilman Starr



Recent Permit Requests, Proposals, & Approved Demolitions



Downtown

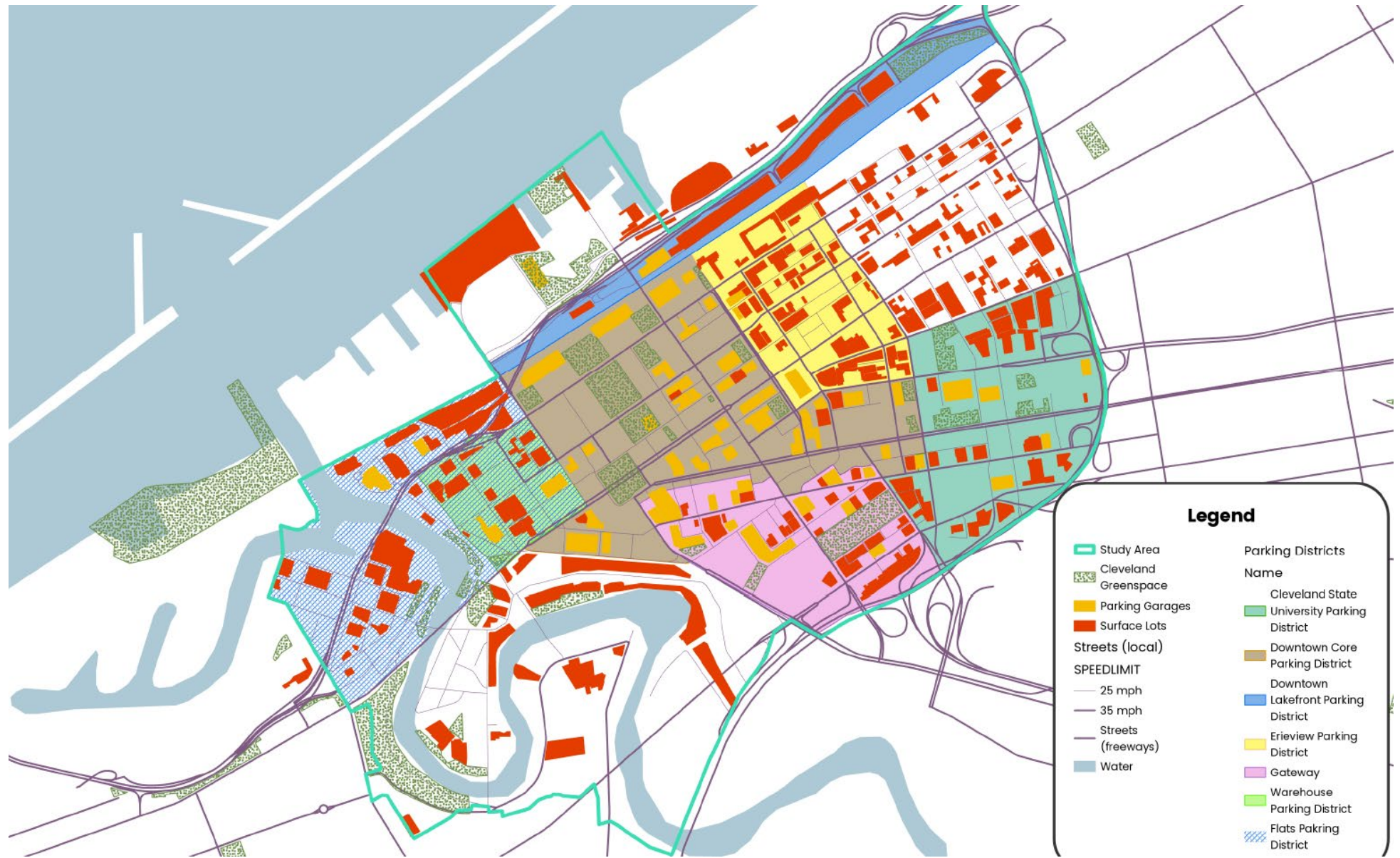
Parking Decks

Surface Lots



Designated Downtown Districts

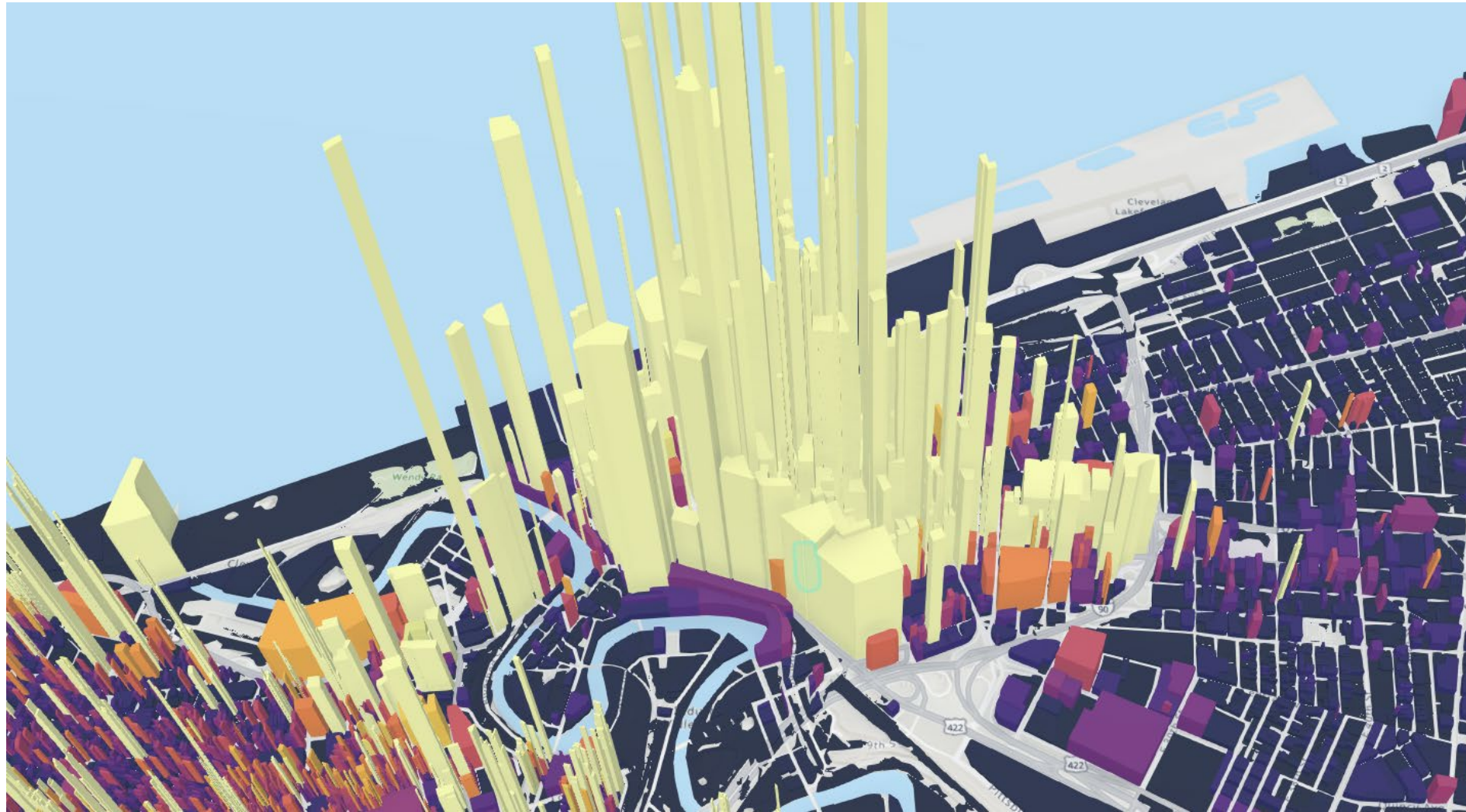
- Core
- Warehouse
- Flats
- Lakefront
- Erieview
- Gateway
- CSU



Tax Base Per Parcel



Tax Base Per Parcel

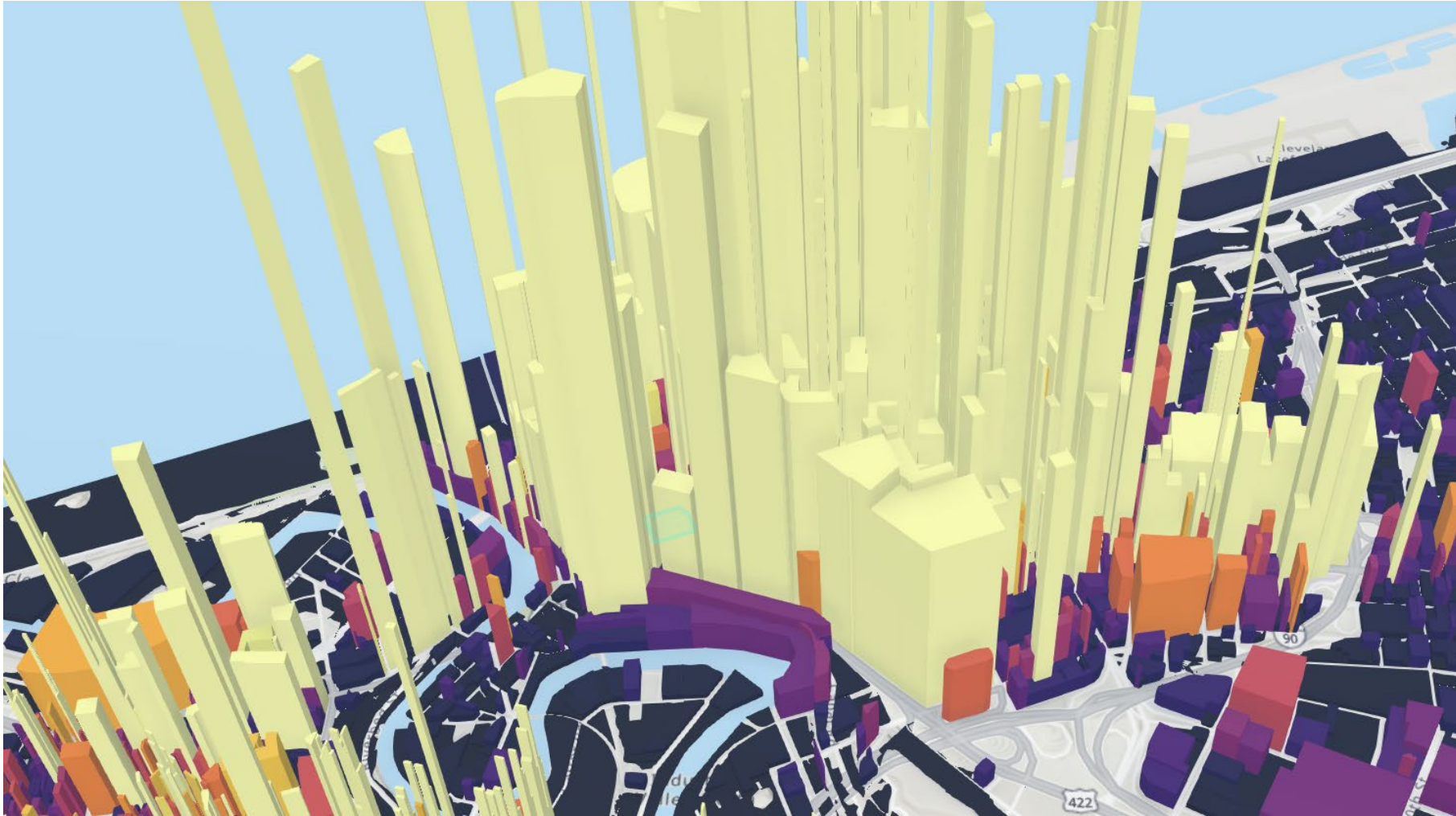


Cleveland Property Value Per Acre Urban3 Scene – Overview

<https://clevelandgis.maps.arcgis.com/home/webscene/viewer.html?layers=7e9f6d269d014692ab05461e9b675514>



Tax Base Per Parcel

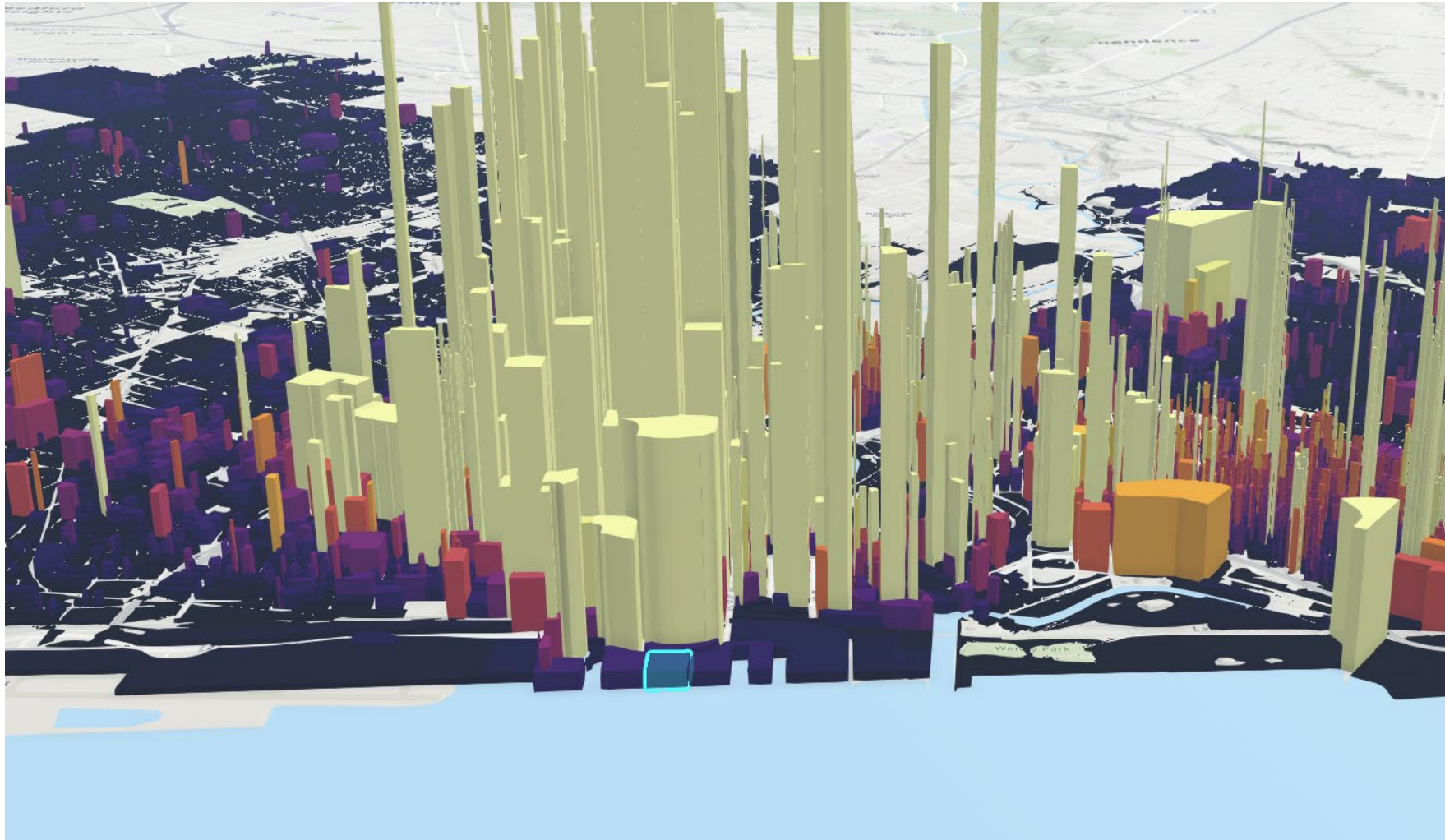


Cleveland Property Value Per Acre Urban3 Scene – Overview

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Tax Base Per Parcel



Cleveland Property Value Per Acre Urban3 Scene – Overview

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CITY OF CLEVELAND
Mayor Justin M. Bibb

Historic Review



Prospect Ave - Historic Buildings Demolished (1914 photo)



Prospect Ave – Surface Parking Lot



Prospect Ave – Historic Buildings Demolished (photo ~1970s)



SUNDAY, DECEMBER 1, 1970 CLEVELAND PLAIN DEALER PAGE SEVEN-A

LONE CO-ED JUDGE IN LIVE STOCK RING
Walks Round Horses, Cows, Poultry, Frogs, Then Reunites Opium.

Stars in Springtime Music Show Tonight
Texas G. O. P. Leader's Suit Against Magazine to Open Tomorrow.

23 ROUTED BY FIRES IN AKRON
Woman Remains Missing.

AKRON'S WORK PUSHED AHEAD
\$300,000 Projects to Be Let in January.

2 Q & U STUDENTS DIE
Killed in Car Crash.

END CONNEAUT VACATION
Local Residents to Return Home.

CONNEAUT VACATION
Local Residents to Return Home.

CONTROL DULUTH PAPER
State and Federal Officials.

THE BING Co.
"What Home Need Should I Buy for Christmas?"
REALIZE the dream of a well-furnished home, and let Bing be the one to do it. This can be the most wonderful of any home without any inconvenience. The Bing Budget system of buying enables you to buy practical home needs for all... for Xmas and the year round. Ten great floors of new Christmas... of home-comfort gift suggestions NOW READY.

Superbly Ornamented Mohair Suite \$188.75
A quality All-Weather Mohair suite that is the best value in the city. Bing's Mohair Suite is made of the finest Mohair and is available in a variety of colors. It is a perfect choice for the living room.

Another extraordinary offer! Dining Suite... \$148.75
A quality All-Weather Dining Suite that is the best value in the city. Bing's Dining Suite is made of the finest wood and is available in a variety of colors. It is a perfect choice for the dining room.

—3 handsome pieces Bedroom Suite \$138.75
A quality All-Weather Bedroom Suite that is the best value in the city. Bing's Bedroom Suite is made of the finest wood and is available in a variety of colors. It is a perfect choice for the bedroom.

Gifts Home Needs at attractive prices
A quality All-Weather Gift Home Needs that is the best value in the city. Bing's Gift Home Needs is made of the finest wood and is available in a variety of colors. It is a perfect choice for the living room.

SANTA IS BING-Land with FREE GIFTS
A quality All-Weather SANTA IS BING-Land with FREE GIFTS that is the best value in the city. Bing's SANTA IS BING-Land with FREE GIFTS is made of the finest wood and is available in a variety of colors. It is a perfect choice for the living room.

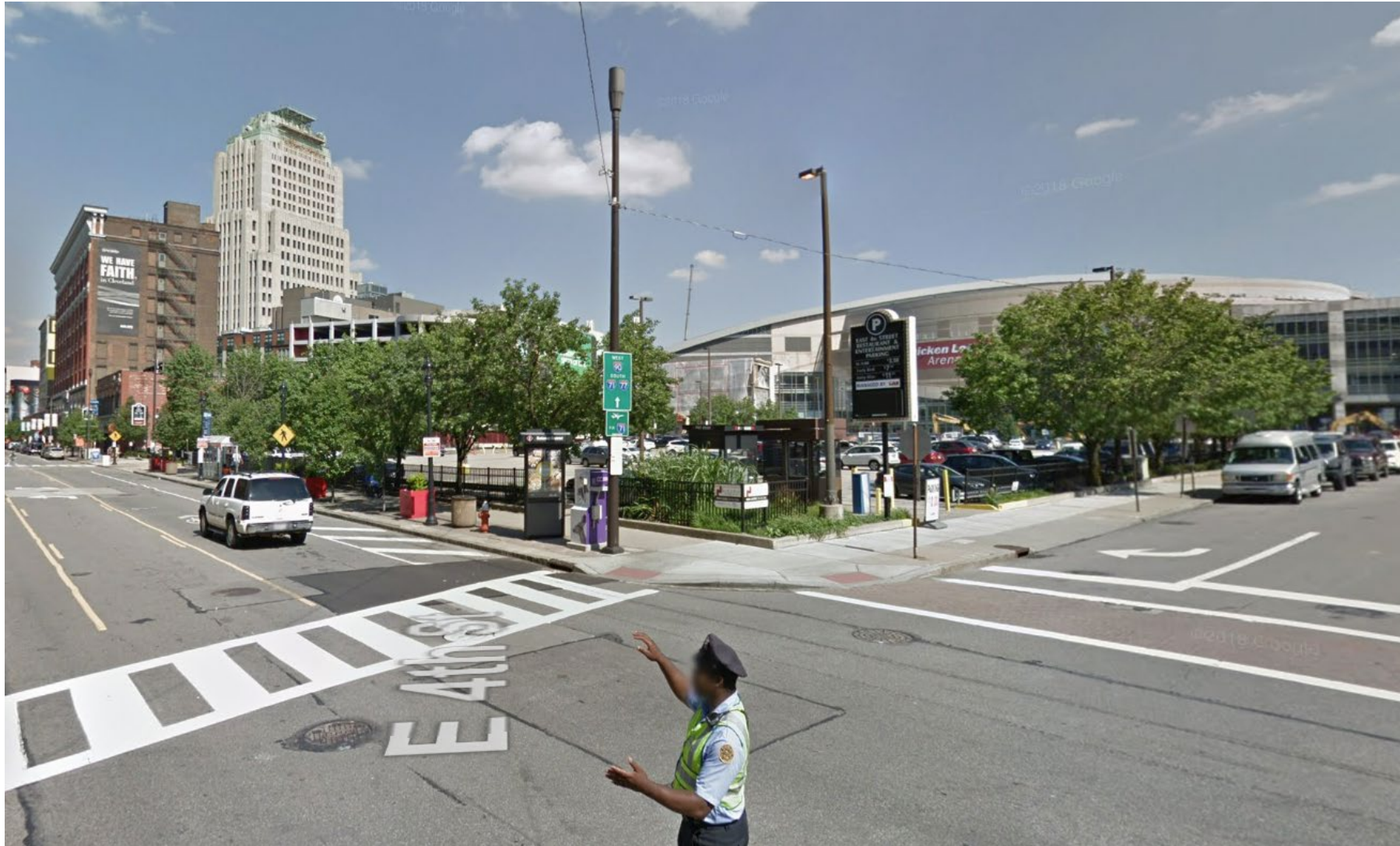
Special Sale—Steel or Wood Wagons
A quality All-Weather Special Sale—Steel or Wood Wagons that is the best value in the city. Bing's Special Sale—Steel or Wood Wagons is made of the finest wood and is available in a variety of colors. It is a perfect choice for the living room.

Lamp Sale
A quality All-Weather Lamp Sale that is the best value in the city. Bing's Lamp Sale is made of the finest wood and is available in a variety of colors. It is a perfect choice for the living room.

THE BING Co.
EVERYTHING FOR THE HOME
Our New Location—514 PROSPECT



Prospect Ave – Surface Parking Lot



1986 Plain Dealer Article on Prospect Demolitions

Prospects for potential Prospect Ave. refugees look bleak

George Packis is offended by the blight around E. 4th St. and Prospect Ave. He owns a building there that houses his Savoy Restaurant and a few other tenants.

But he is also offended that City Hall would come by and declare the area blighted.

This is no contradiction. Packis is amazed that the "slum and blight" designation was designed to help developer Harvey Oppmann, who wants to build a 600-car parking garage with a Jaguar-Cleveland dealership on the first floor.

Packis and others at the site are miffed because Oppmann controls four of the slummiest buildings there.

He owns, or has majority ownership of, three. He also has a 99-year lease on the old Bing Building.

Packis and others complain of broken sidewalks and pipes, falling bricks and other hazards and eyesores at the buildings Oppmann controls — especially the Merchandise Mart, which he's had for five years.

But Oppmann has a slick deal in the works with City Hall.

City Council this summer declared the area blighted, so the city now can use eminent domain to acquire properties he doesn't already own for his garage.

This grates other building owners and merchants because they may have to relocate — whether they want to or not.

"If they tear down this building, where are we going to go?" said Packis. "I'm 57 years old. Where's anyone going to go?"

"We're talking about 200 people. Who's going to give these people a living?"

A lawyer who represents the Maloof family (of parking

TOM ANDRZEJEWSKI



lot renown), which owns the old Brown Bros. Furniture Building on E. 4th, said most of the buildings were in good shape.

"Except for the ones Harvey controls," said the lawyer, Ralph E. Cascarilla. "He has not put any money into them."

Oppmann, who is also the part-owner and manager of the Arcade, the only Cleveland building that is a national historic landmark, said the Prospect buildings were dilapidated when he bought them. He said he was cleaning up a slum, to revive it.

It's also where he could make a killing. A 1983 market study said the area needed 2,000 more parking spaces. That was before the adjacent Central Market site was selected for a domed stadium.

Oppmann's WASPish credentials bespeak establishment and wealth. He's a descendant of beer barons; Episcopalian; member of the Chagrin Valley Hunt Club and Union Club. He's also on the Cleveland Foundation's distribution committee.

So maybe city officials should bend over backwards for him.

And, on the face of it, the rest of his \$12 million deal, for which he wants \$2 million in an Urban Development Action Grant and \$9 million in county-backed industrial revenue bonds, may not sound bad.

Unless you ask Packis or some of the other people who have a stake in lower Prospect. Or maybe a taxpayer who thinks federal subsidies could be spent on something better than parking garages and Jaguar dealerships.

The already congested street would be immobilized at rush hour because of the parking garage. And inner-city blacks, who make up a large part of the street's patrons, would be losing a shopping center.

City officials are mindful of some of these issues, although not enough to bounce Oppmann's proposal out on the street, where it belongs.

Oppmann denied he was going to deprive people of their favorite shopping district. He said most of the street-level space would be for shops, and Jaguar-Cleveland would take up only a small portion.

They will be shops with much higher rents, which will change the character of the area. The project will force out the honky-tonk places, but also eject the decent ones.

Listen to what Oppmann told the City Planning Commission July 14:

"I would promise you that we are not going to add another wig shop to Prospect Ave. I don't think we need another one, with all due respect to selling wigs. Hopefully, we will have card shops and things that deal with the general trade."

Some people might say that statement has racial overtones. And they'd be right. Oppmann said he did not mean it that way. "Black people aren't the only ones who buy

wigs," he said.

It sounds like the same sort of talk that came from the people who produced the costly but never-used Halprin plan for downtown 11 years ago. One of the planners thought progress was ridding Euclid Ave. of wig and platform-shoe shops.

Eventually, National City Bank did that. And produced one of Cleveland's lousiest, deadest, blankest streetscapes along Euclid Ave.

But we're getting off the subject of the Oppmann project. A couple city officials admitted privately the whole project's not a good idea. How about if we hear them stand up for the taxpayers and say it publicly?

Packis makes a good argument against it, just by listing the tenants he has: Allstate Barber & Hairstyling College, Marshall Detective Agency, Glamour Boutique, and, yes, Kuja's Wigs.

Naturally, Packis has a stake. One appraisal listed his building at \$160,000, but based on the rents he gets, he said it was worth closer to \$500,000. Cascarilla's clients have a self-serving interest, too. They are negotiating with prospective tenants and expect to get one.

More importantly, the thousands of people who shop and work on Prospect have a stake.

Destroy sound buildings when there are plenty of other places to put parking garages? And summarily displace businessmen, employees, shoppers and other Prospect regulars, some of whom have been around for decades?

Problem is, Oppmann already owns much of the site, and unless anyone can come up with something better, the city seems ready and willing.

BingCo
Sly Prospect
Mayer-Marks
320 Prospect

→ racist + invidious?

Sept 26, 1986 - Plain Dealer

Aldrich-Howe
422 E 4th

40 Years later...

Prospect Ave – Historic Buildings Demolished (~2011)



Prospect Ave – Jack Casino Parking Deck



Prospect Ave - Hotel Dorn (photo 1965)



Prospect Ave – Surface Parking Lot



Cleveland Window & Glass Co. – Flats West Bank



Flats West Bank – Surface Parking Lot





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New Development Snapshot



Gateway Recent Development



2016 – Surface Parking Lot



2020 – The Lumen Skyrise - Completed



2021 – Surface Parking Lot



2024 – 776 Euclid Skyline – Nearing Completion



2022 – Parking Garages



2024 – LCI / SomeraRoad Development – Under Construction



2024 – Cavs/Clinic Global Peak Performance Center



2024 – Cavs/Clinic Global Peak Performance Center



Since ~2002 – Surface Parking Lots & Former Parking Garage



2025 – Cosm + Rock Block



2025 – North Coast Yard



2025 – North Coast Yard





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Gateway & Other Stadium Districts



E. 9th Street (photo 1927)



E. 9th Street ODOT & Surface Parking Lot Expansions



Arrival to Stadium District & Separation from Neighborhoods



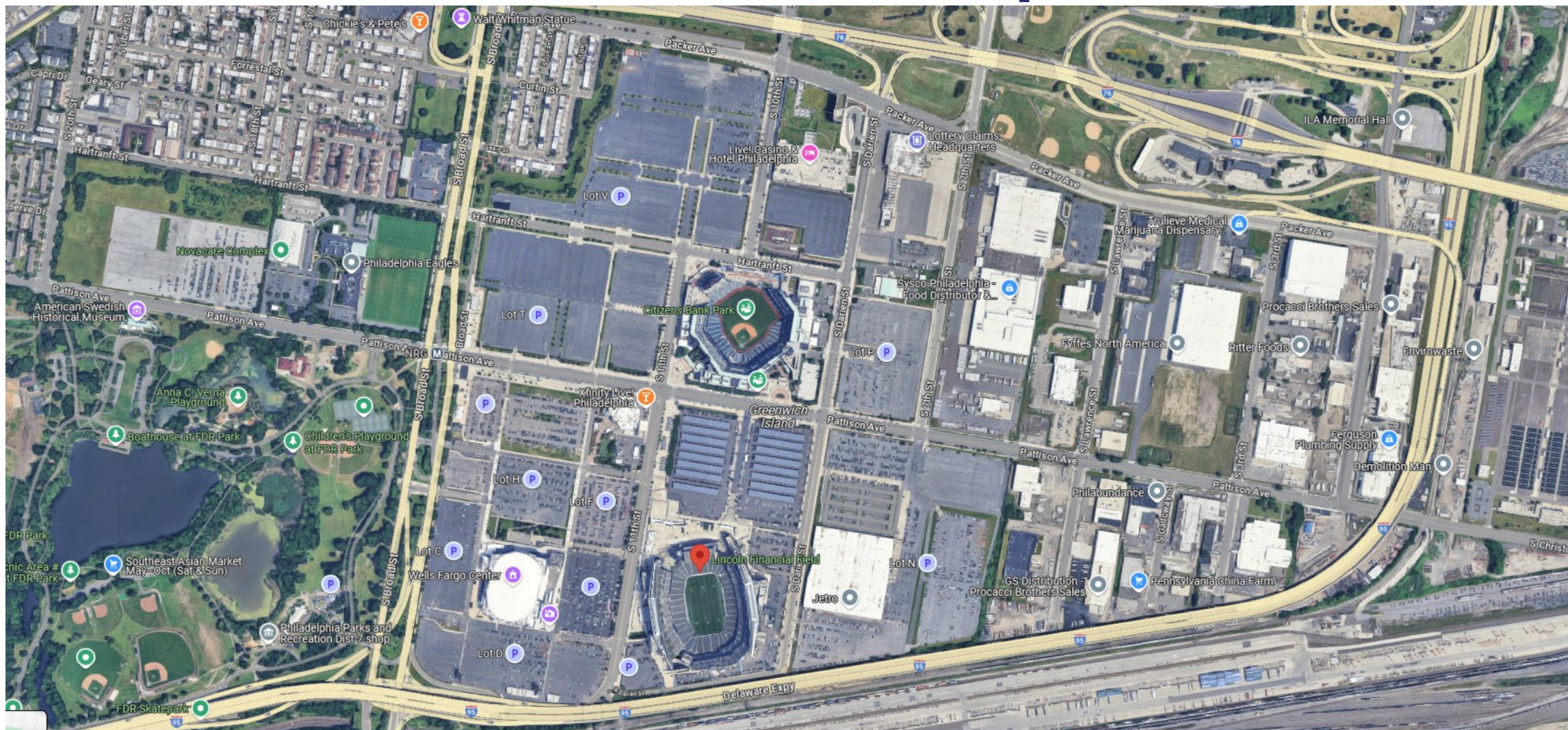
Arrival to Stadium District & Separation from Neighborhoods



Arrival to Stadium District & Separation from Neighborhoods



Other Stadium Districts – Philadelphia



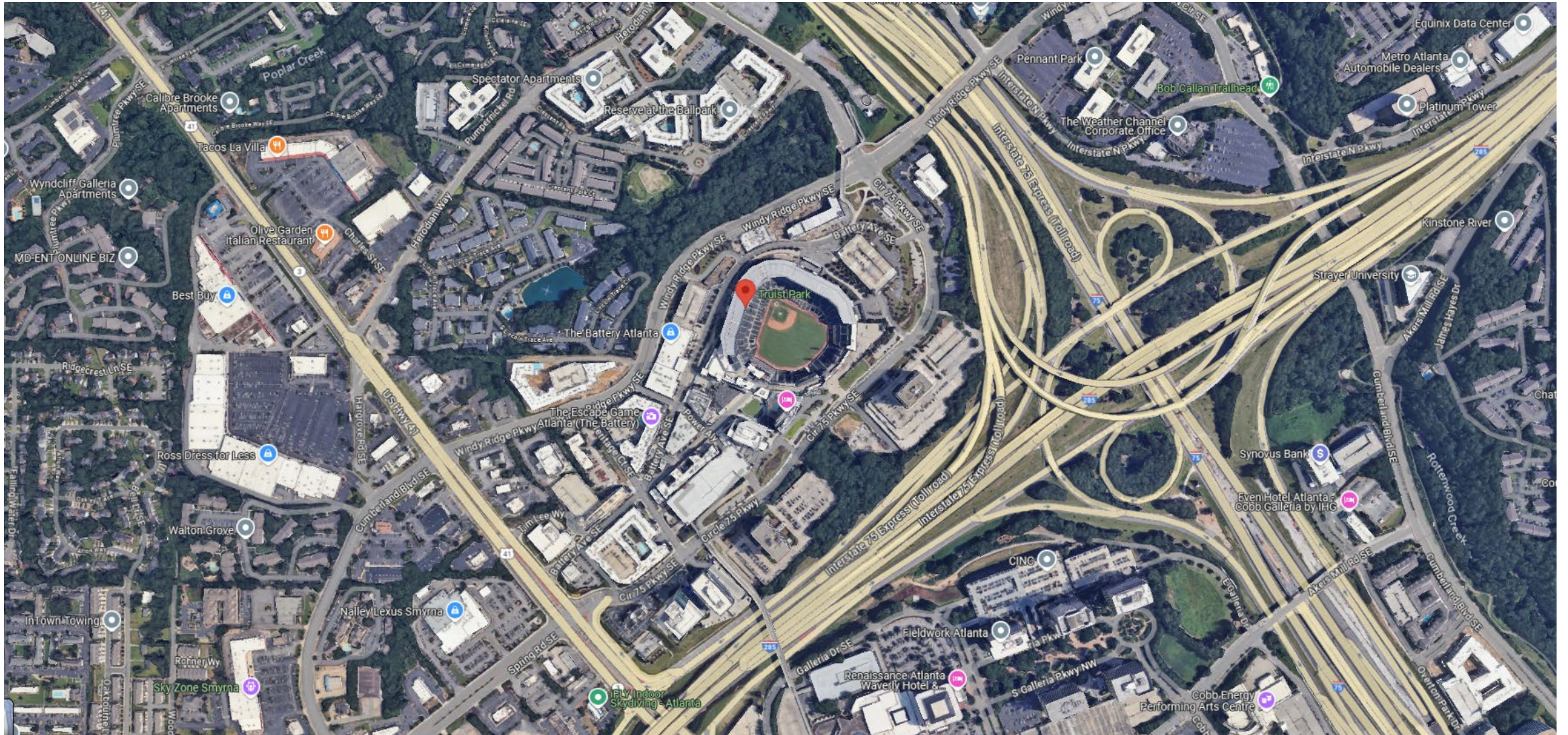
Other Stadium Districts – Philadelphia



Other Stadium Districts – Philadelphia



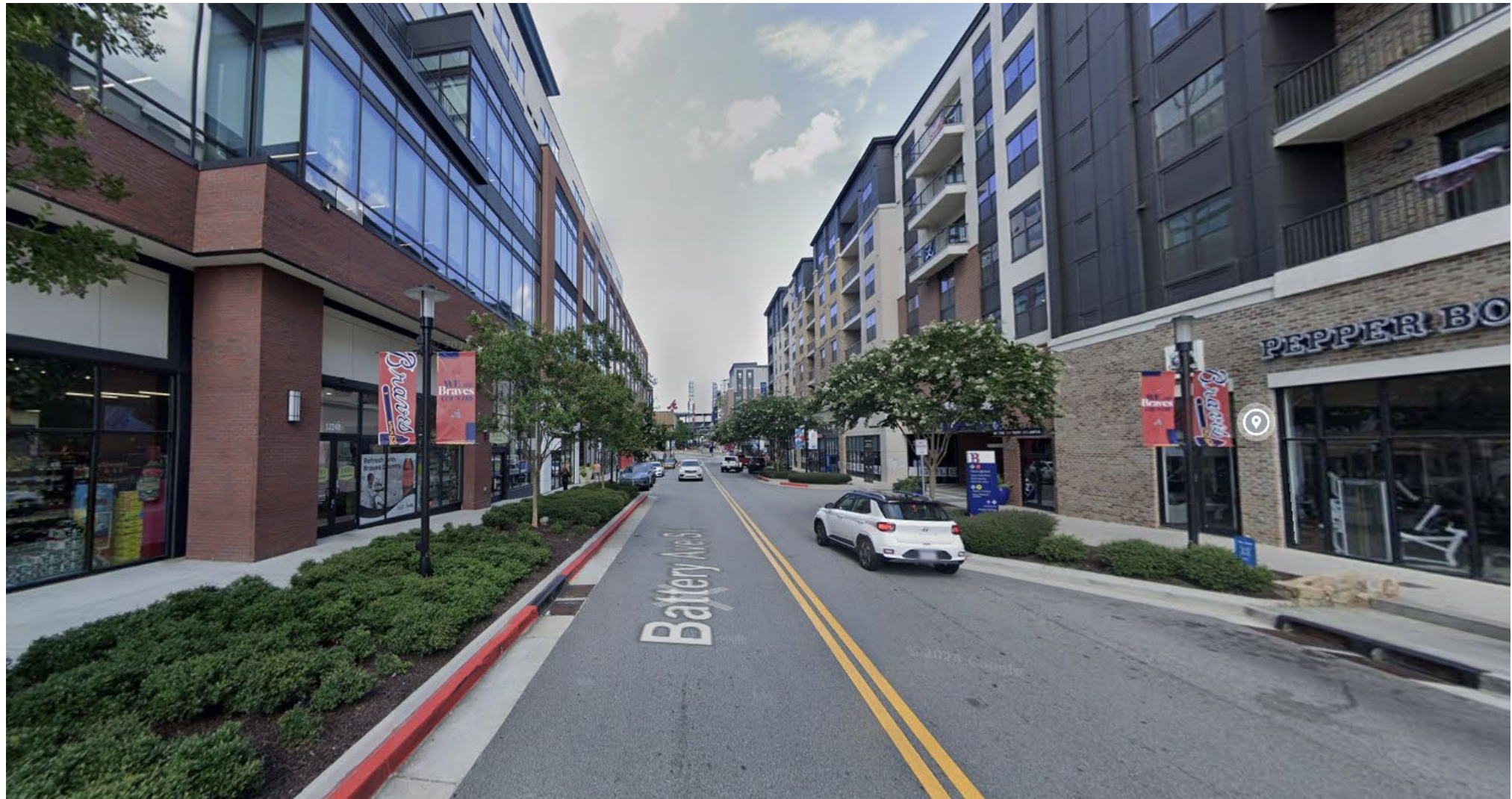
Other Stadium Districts – Atlanta



Other Stadium Districts – Atlanta



Other Stadium Districts – Atlanta



Other Stadium Districts – Atlanta



City Planning Commission – Authority & Restrictions

Crossroads

- Preserve architectural core
- Maintain & enhance walkability / street-life / safety
 - Transportation Demand Management (TDM) Program Standards
- Tax base impacts on City budget
 - Shore-Core-Shore Initiative & TIF District
 - Impacts rollover into neighborhoods
- Heartbeat of Greater Cleveland





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Mayor Justin M. Bibb

Thank You

Cleveland City Planning Commission

Calley Mersmann, Director

Marka Fields, Assistant Director

Shannan Leonard, Chief Zoning Administrator

Dan Shinkle, Principal Planner – Major Projects & Public Realm

Kayla Flake, Senior Assistant City Planner

Myla Moss, Development Coordinator

Landmarks Commission (Dan Musson, Secretary & Chief City Planner; Rachel Pearce, Historic Preservation Specialist; Karl Brunjes, City Planner; Jessica Beam-Wymer, Historic Preservation Planner)



Cleveland City Planning Commission

Director's Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 15, 2025

Cleveland City Planning Commission

Adjournment



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Next Meeting: September 5, 2025